

Judith Henkin, Esq.  
2630 Hollister Hill Road  
Marshfield, Vermont 05658  
(802) 272-2100  
[jahenkin44@gmail.com](mailto:jahenkin44@gmail.com)

*Delivered by Electronic and U.S. Mail*

October 16, 2024

Donna Jerry, Senior Health Policy Analyst  
Green Mountain Care Board  
1 National Life-Davis 3  
Montpelier, Vermont 05633  
[donna.jerry@vermont.gov](mailto:donna.jerry@vermont.gov)

Re: Docket No. GMCB-018-24con, Replacement of Interventional Radiology Equipment  
in Suite 24 and related Facility Upgrades, Q002

Dear Ms. Jerry:

Below please find the University of Vermont Medical Center's responses to the Green Mountain Care Board's questions Q002, dated August 29, 2024.

**1. Based on the FGI charts submitted with the application, IR 24 is classified as a Class 2 Imaging Room. Confirm that there are no open procedures performed in IR Suite 24.**

Confirmed. There are no open procedures performed now or planned in the future for IR Suite 24.

**2. Explain in detail why the 26% design contingency is needed. Provide a breakdown of the components and associated dollar amounts included in the design contingency.**

The industry standard is to carry a 10% design contingency for new construction, or a 20% contingency for renovation. Because this is a renovation project, we included a 20% contingency (\$69,160) of the contractor's total stated cost (\$345,794). With inflation remaining at record highs during the planning stage of this project, we also carried an 6% escalation (\$20,750). We have used these contingency percentages on past projects, as needed, and believe they are reasonable here, although we expect that the actual design contingency will be less than the 26%.

**3. Given the scope of the renovation for IR Suite 24, explain in detail why the Architectural/Engineering fee is 26% of the renovation cost including both contingencies**

**and 37% of just the renovation cost. Provide a breakdown of the components and associated dollar amounts.**

Based on previous project experience, the following percentages are typically carried and have been for this project. We expect that actual architectural/engineering fees will be lower than those stated:

Percentage Based Fees	Percent	Basis	Total
Permitting fee % total construction	2%	\$504,864	\$10,100
Architectural fee % total construction	15%	\$504,864	\$75,730
MP engineering fee % architectural	10%	\$75,730	\$7,570
Electrical engineering fee % architectural	10%	\$75,730	\$7,570
Structural engineering fee % architectural	10%	\$75,730	\$7,570
		Sub-total	\$108,540
		Percentage based fees contingency (20%)	\$21,710
		Total	\$130,250

**4. Provide a complete copy of the full vendor quote(s) for all equipment, hardware, and software.**

See the response provided for Question 2 of Q001.

**5. Provide a detailed description and explanation of all infrastructure upgrades. Provide a breakdown of each component and associated cost for each.**

As stated in the Application, the necessary modifications to the suite include:

- New flooring
- New millwork including new tech station and storage units/cabinets
- New LED lighting throughout
- New electrical conduits to meet the new Philips equipment specifications

The modifications include raising the existing ceiling approximately 3.5 inches to meet vendor specifications. This will require significant re-working of the existing above-ceiling mechanical HVAC ventilation, electrical systems, sprinkler, and Philips equipment structural support.

The detailed contractor quote, showing the breakdown of cost, is attached.

Please let us know if we can answer any further questions. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to be 'J Henkin', with a long horizontal flourish extending to the right.

Judith Henkin, Esq.

On behalf of University of Vermont Medical Center, Inc.

Cc: Stephen Leffler, MD, President & Chief Operating Officer, UVM Medical Center  
Eric Miller, General Counsel & Senior Vice President, UVM Health Network

Attachment



4724 SPEAR STREET  
SHELBURNE, VERMONT 05482

**Date:** 11/1/23  
**Customer:** University of Veront Medical Center  
**Attn:** Peter Bero  
**Re:** IR24 Renovations Budget

Farrington Construction is pleased to offer the following proposal for the above referenced project. Scope and costs are as follows: Renovations to IR24 Room for new equipment. Minor modifications to interior finishes, casework, overhead rework of ACT & MEP as required for new Philips Equipment. Underslab rework of electrical. Budget per Joseph Architects 10/31/23 A1,2,3 / Philips Allura FD20 Set, site review & susequent conversations.

<b><u>General Requirements</u></b>	<b>\$ 22,600.00</b>
Supervision & Coordination	
Dust Control & IAQ	
Development & Implementation of UVMHC H&S Documents	
Assume Class 4 construction standards for IAQ measures.	
Cleaning-- Constant & Final	
Debris Removal & Disposal	
Permitting & Closeout	
<b><u>Demolition</u></b>	<b>\$ 7,250.00</b>
Perform the following work:	
Remove ACT & Grid	
Remove flooring, scrape slab	
Remove HMF-D-HDW at Equipment Room, salvage & return to owner	
<b><u>Rough &amp; Finish Carpentry</u></b>	<b>\$ 27,780.00</b>
Perform the following work:	
Rough floor prep. As required for new flooring	
Modify / Rework PWC as required around & behind casework	
Install new casework / counters	
Rework above ceiling unistrut to accommodate new required ceiling height within suite	
Install OFCI WMI	
<b><u>Support of MEP / Philips</u></b>	<b>\$ 12,800.00</b>
Perform the following work:	
Layout / anchoring prep / floor plate prep / routing & penetrations identification for new Philips Equipment	
Misc. Cut & Patch at through wall penetrations	
Provide access / dust control at underslab conduit runs for new phillips equipment	
Coring for new underslab conduit runs	
Assist with Philips decommissioning and installation teams / transport / oversight / terminations	
<b><u>Millwork &amp; Casework</u></b>	<b>\$ 20,350.00</b>
Fabricate the following items:	
New full height storage cabinet at east wall of procedure room	
New Base Cabinetry, Solid Surface Countertop, Upper Wall Cabinets at North side of Procedure Room	
New Leaded Tech Stations - P-Lam Base Cabinet with integral lead sheilding / SSM top /Leaded Glass Guard	
New Tambour Rolling Door Full height storage units, typ. 3.	

<b><u>MSF-GWB-Insulation</u></b>	<b>\$ 2,500.00</b>
Perform the following work:	
Infill exiting door opening to equipment room. Assume 1/8" shielded GWB @ 7'AFF	
Infill section of ETR HMF Window Unit at Control Room / Procedure Room demising wall	
<b><u>Flooring &amp; Base</u></b>	<b>\$ 20,950.00</b>
Perform the following work:	
Final Prep slab to receive new sheet vinyl flooring	
Furnish & install new sheet vinyl flooring, heat weld at seams.	
B.O.P. - Forbo Surestep Sheet Vinyl, 4" ICB at walls	
<b><u>ACT Ceilings</u></b>	<b>\$ 10,200.00</b>
Perform the following work:	
Furnish & Install new ACT grid following above ceiling rework of structure / MEPS	
B.O.P. - USG Donn Grid System, 3260 VFGB Tile	
<b><u>Tape, Patch, and Paint</u></b>	<b>\$ 6,820.00</b>
Perform the following work:	
Tape, Sand, Prime, Paint at new GWB	
Sand, Paint at ETR GWB & HMF within work area	
Patch / Paint at soffits & new ceiling line as required to restore finishes in room.	
<b><u>Sprinkler</u></b>	<b>\$ 3,200.00</b>
Perform the following work:	
Allowance for rework of sprinkler lines at / above ceiling to allow for utility relocation & new ceiling height	
Assume 2, 8 hour shutdowns	
Permitting & Closeout	
<b><u>Mechanical, Plumbing, Controls</u></b>	<b>\$ 54,740.00</b>
See attached budget from Vermont Mechanical	
<b><u>Electrical</u></b>	<b>\$ 111,500.00</b>
See attached budget from Benoit Electric	
Total Costs	<b>\$ 300,690.00</b>
G.C. Fee (10%-OH-5%P)	<b>\$ 45,104.00</b>
<b>Total Amount of this Proposal</b>	<b>\$ 345,794.00</b>

Please review and call with any questions.



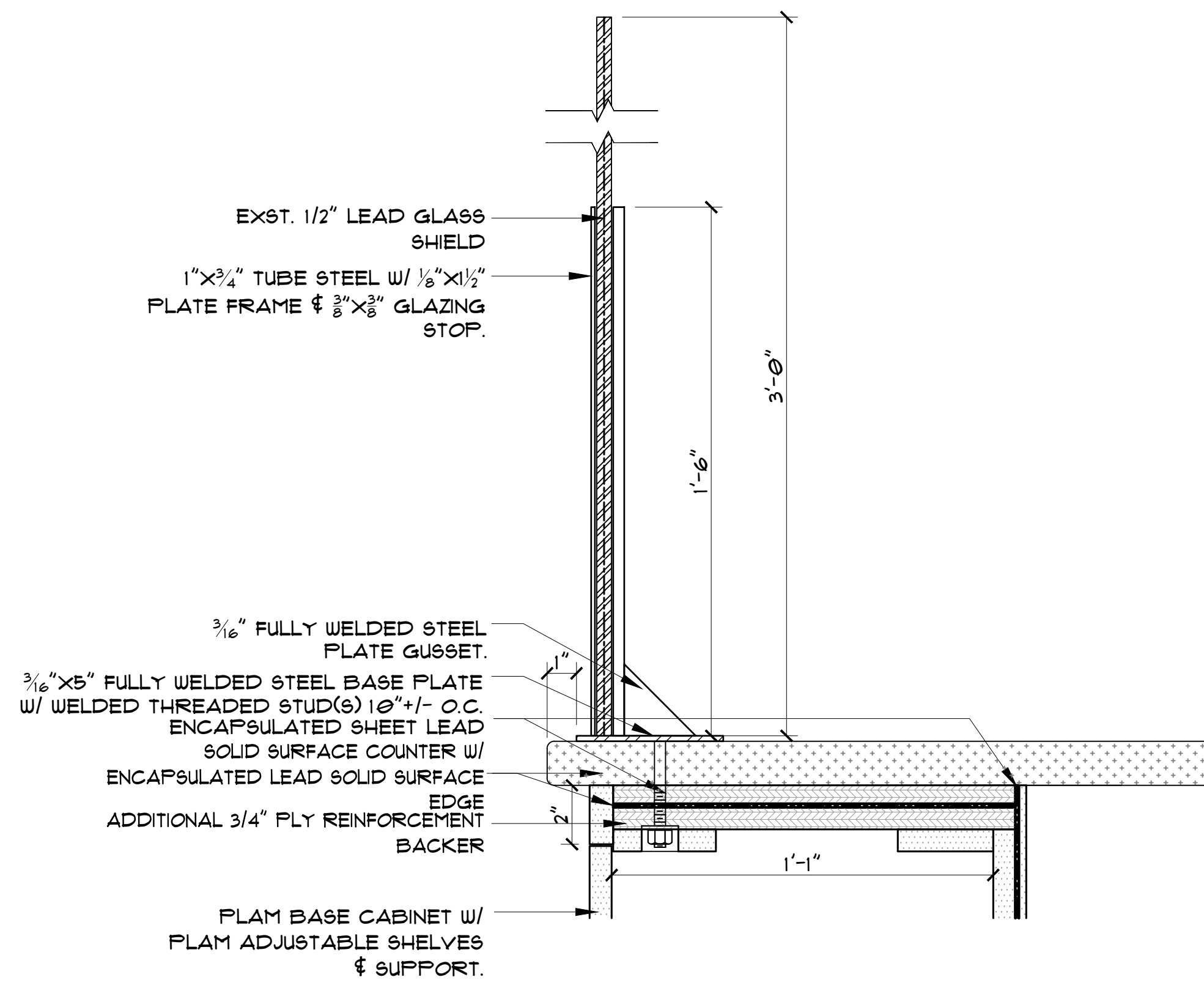
Jack Farrington

Vice President

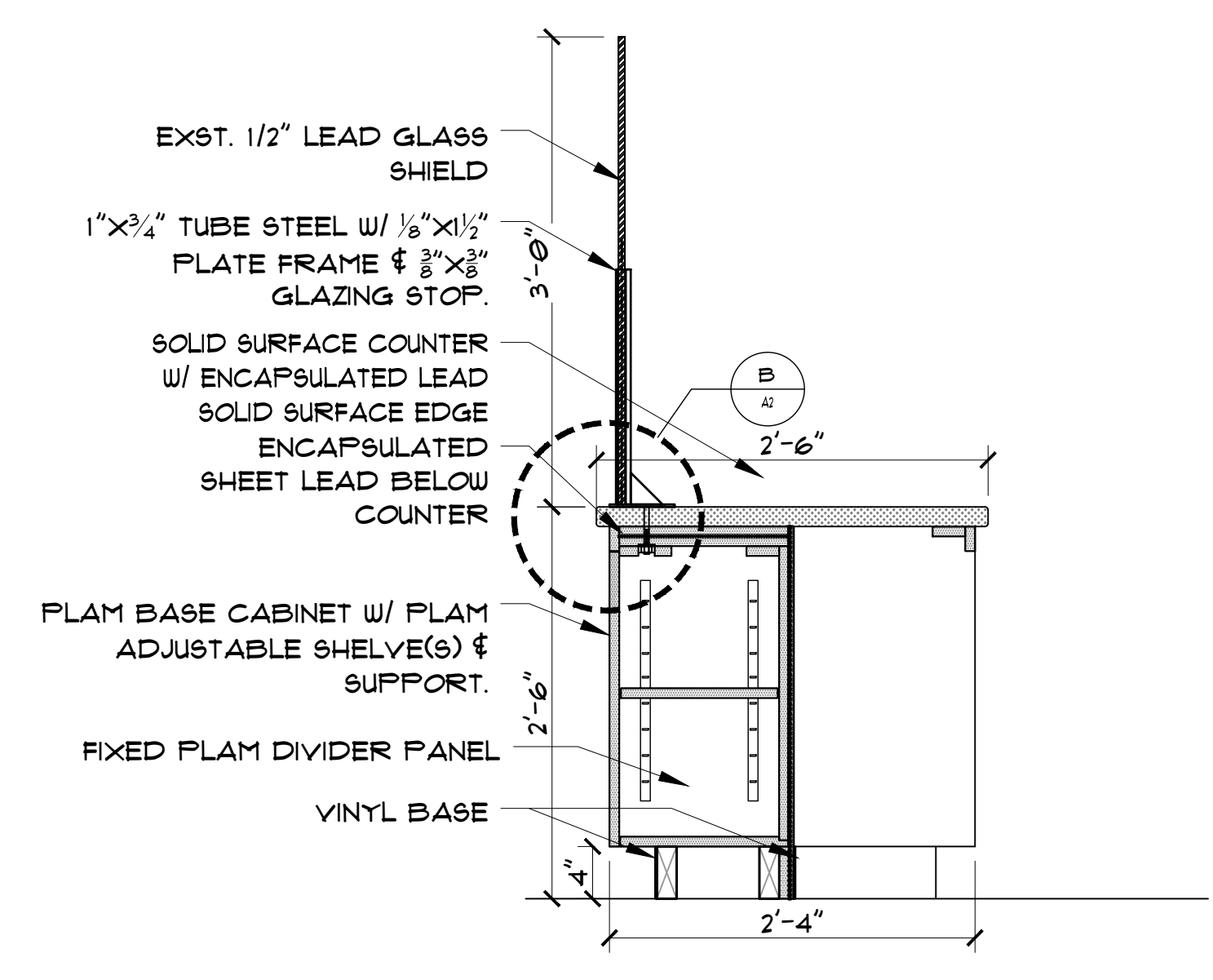
Farrington Construction Company



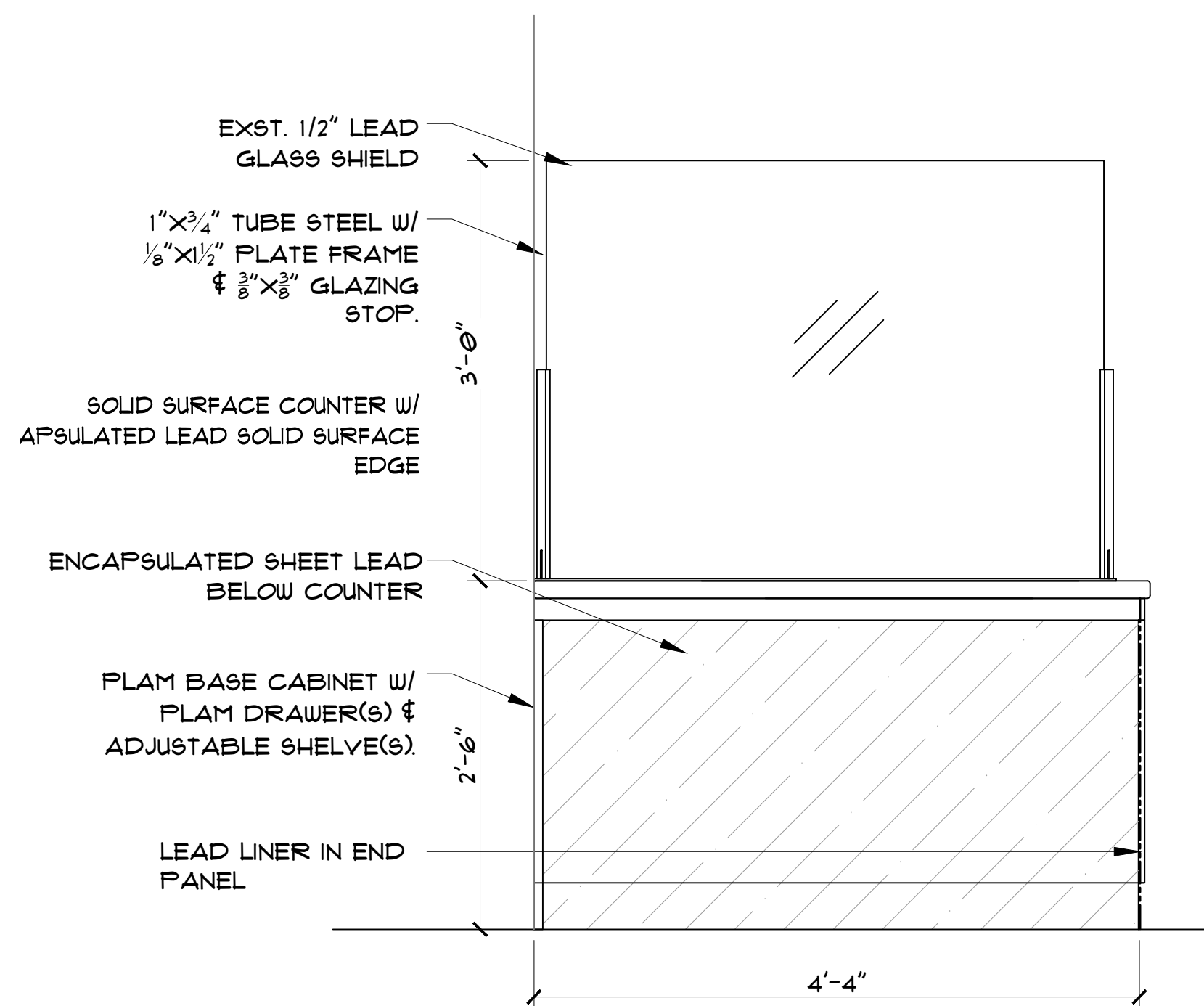




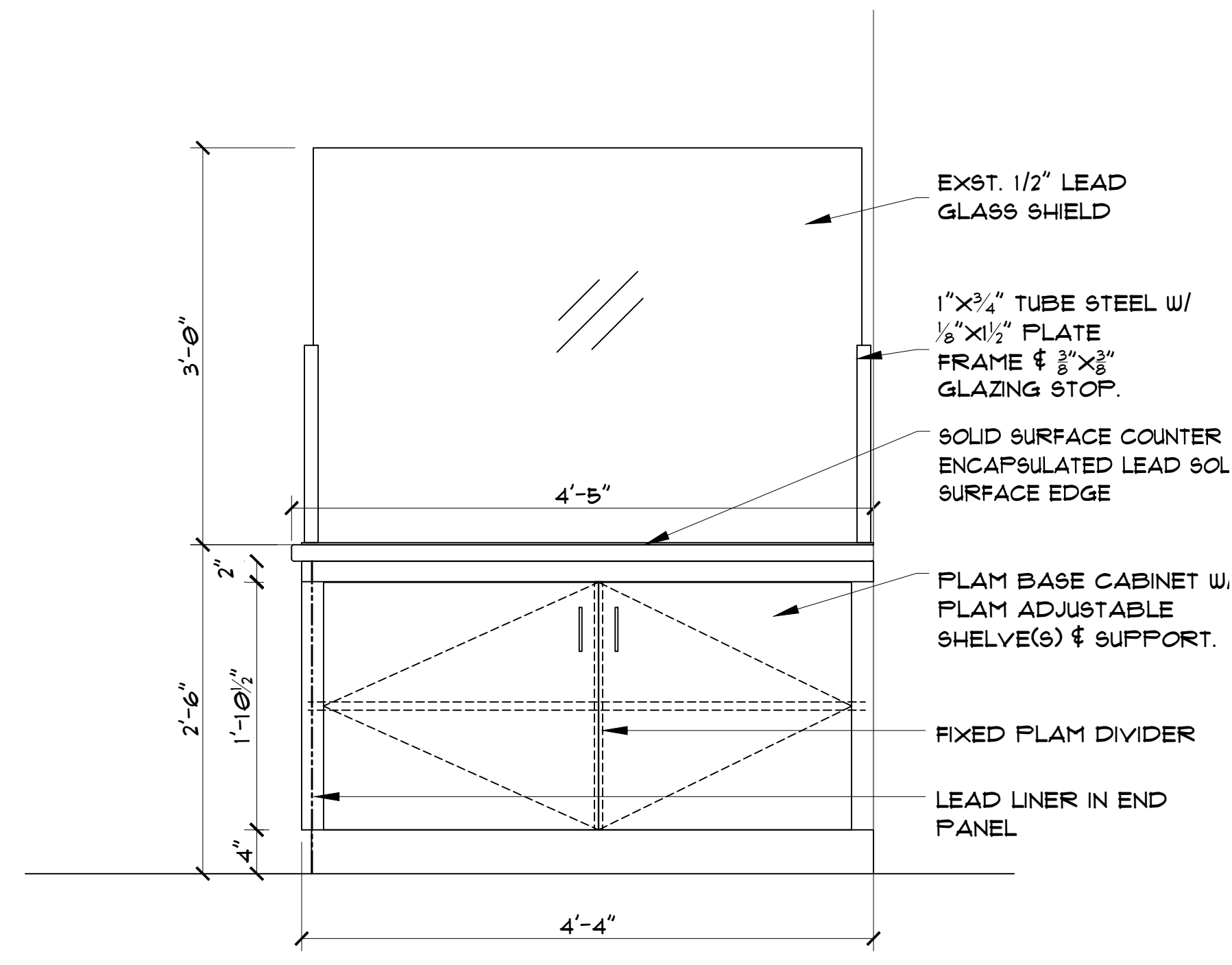
**B** VIEW WINDOW FRAME DETAIL - TECH DESK  
SCALE - 1" = 1'-0"



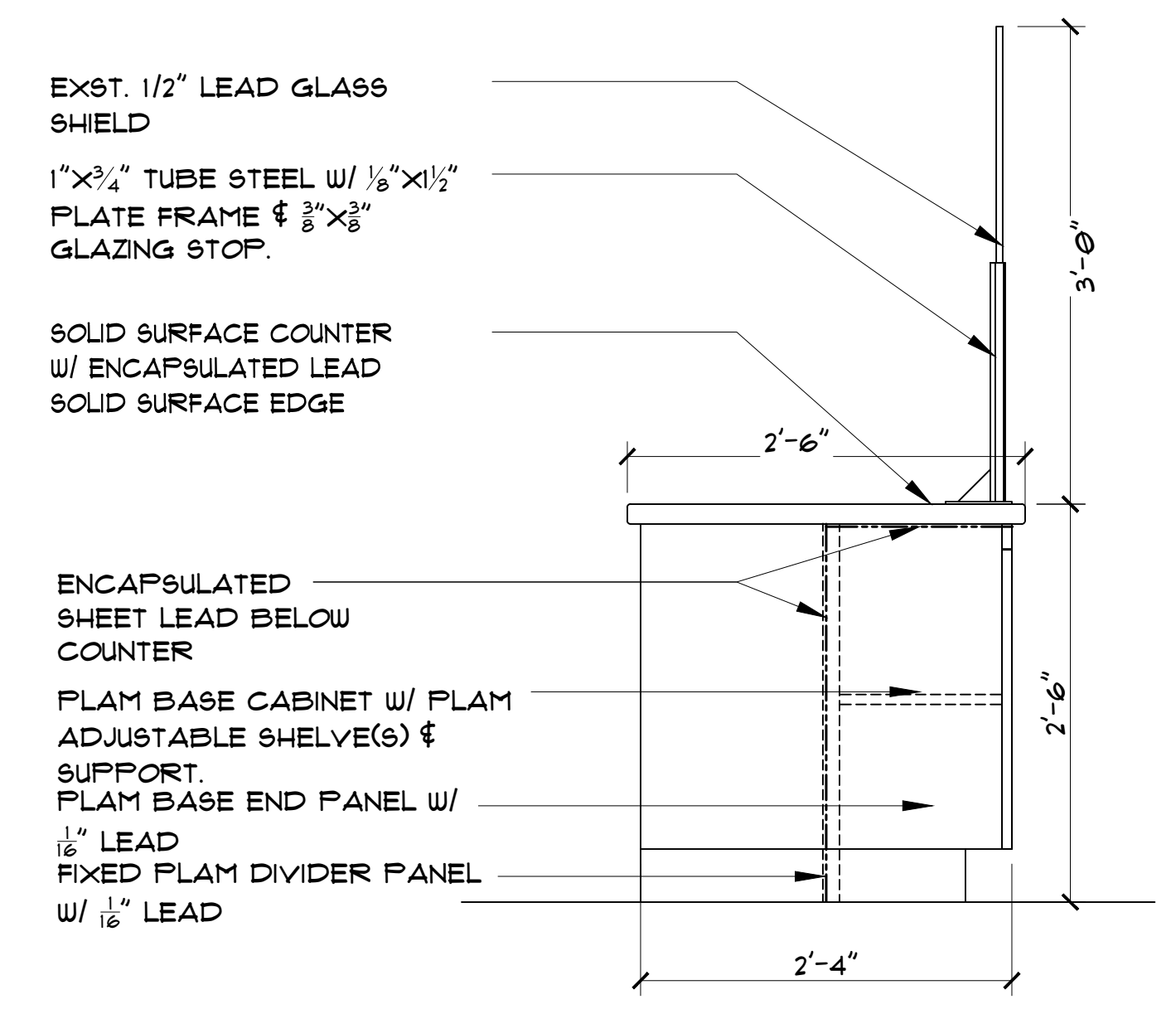
**A** SECTION DETAIL - TECH DESK  
SCALE - 1" = 1'-0"



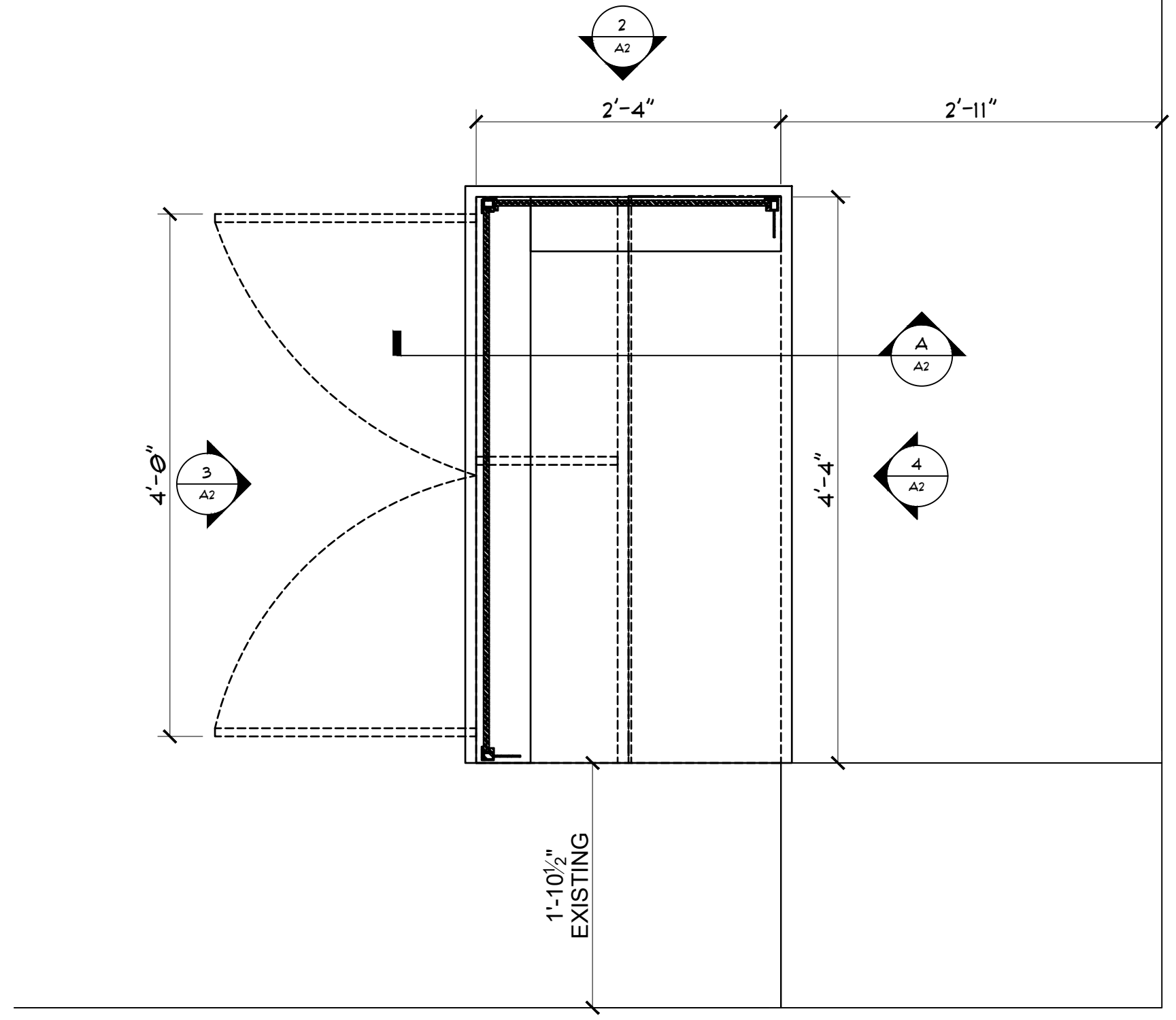
**4** REAR ELEVATION VIEW - TECH DESK  
SCALE - 1" = 1'-0"



**3** FRONT ELEVATION VIEW - TECH DESK  
SCALE - 1" = 1'-0"



**2** SIDE ELEVATION VIEW - TECH DESK  
SCALE - 1" = 1'-0"



**1** PLAN VIEW - TECH DESK  
SCALE - 1" = 1'-0"

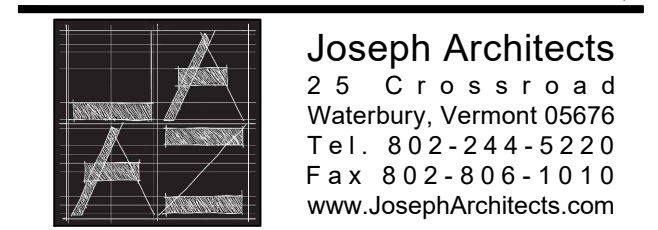
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NOT FOR PERMITTING OR  
CONSTRUCTION  
10/20/2023

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Rev # \_\_\_\_\_ REVISION

PROJECT NAME AND ADDRESS  
**UVMC - MCCLURE 1  
IR 24 REPLACEMENT**  
UVMC MAIN CAMPUS BURLINGTON, VT



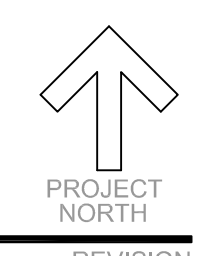
**Joseph Architects**  
25 Crossroad  
Waterbury, Vermont 05676  
Tel: 802-244-5220  
Fax: 802-806-1010  
www.JosephArchitects.com

TECH DESK  
DETAILS

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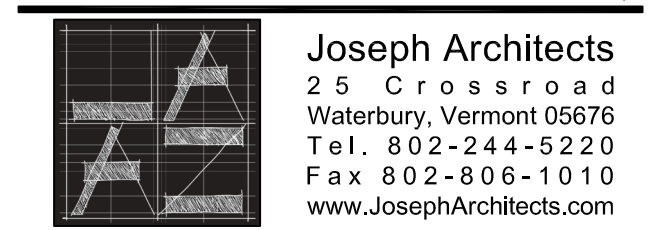
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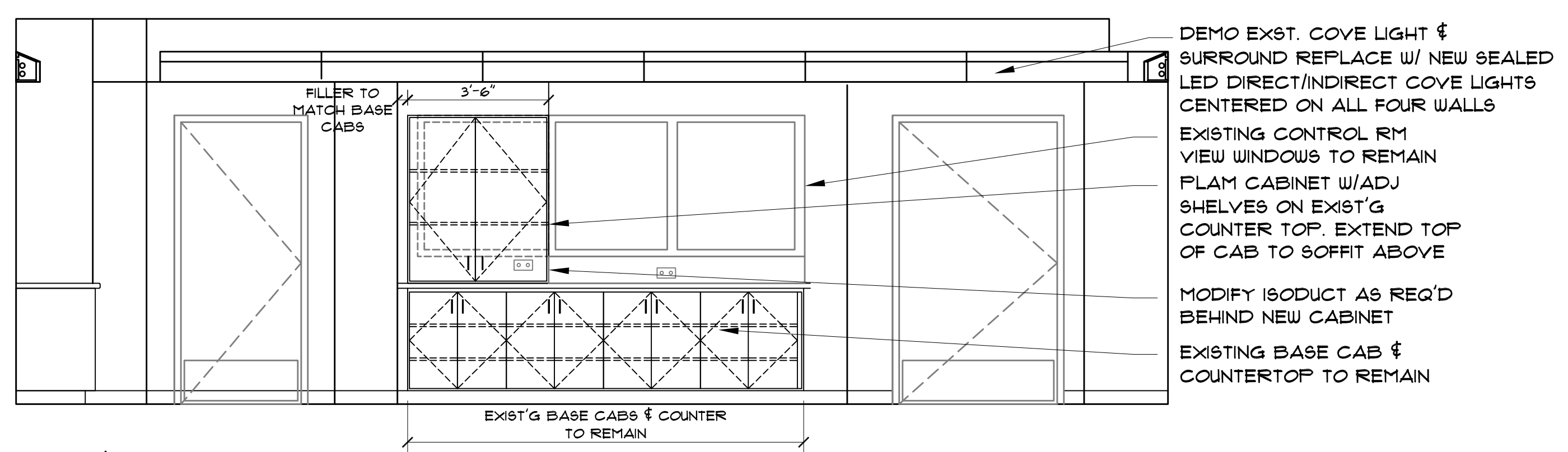


Rev # \_\_\_\_\_ REVISION

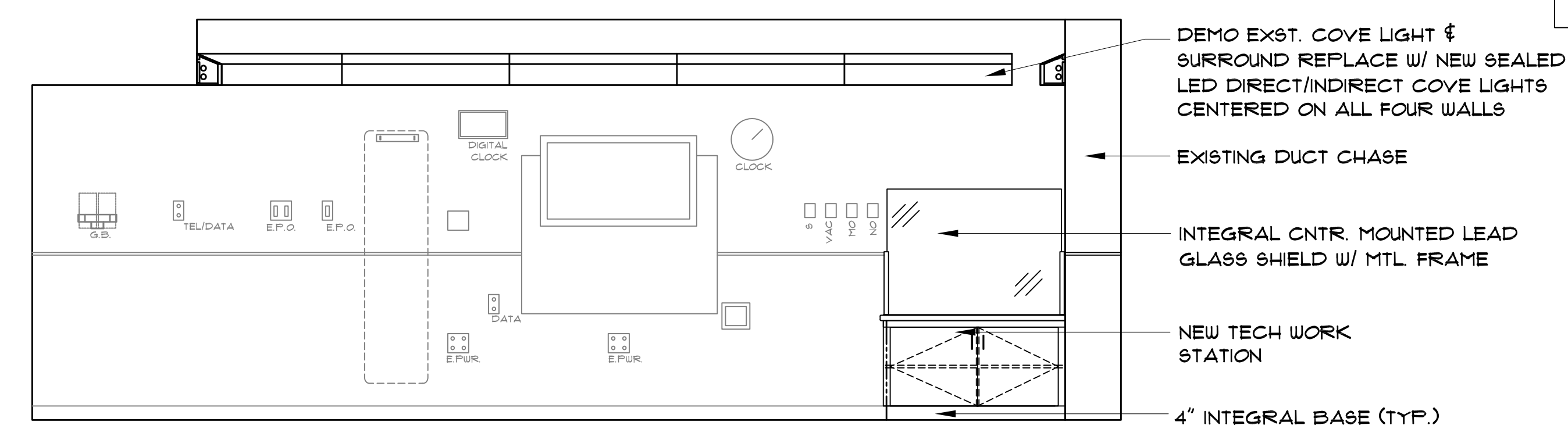
PROJECT NAME AND ADDRESS  
**UVM - MCCLURE 1  
 IR 24 REPLACEMENT**  
 UVM MAIN CAMPUS BURLINGTON, VT



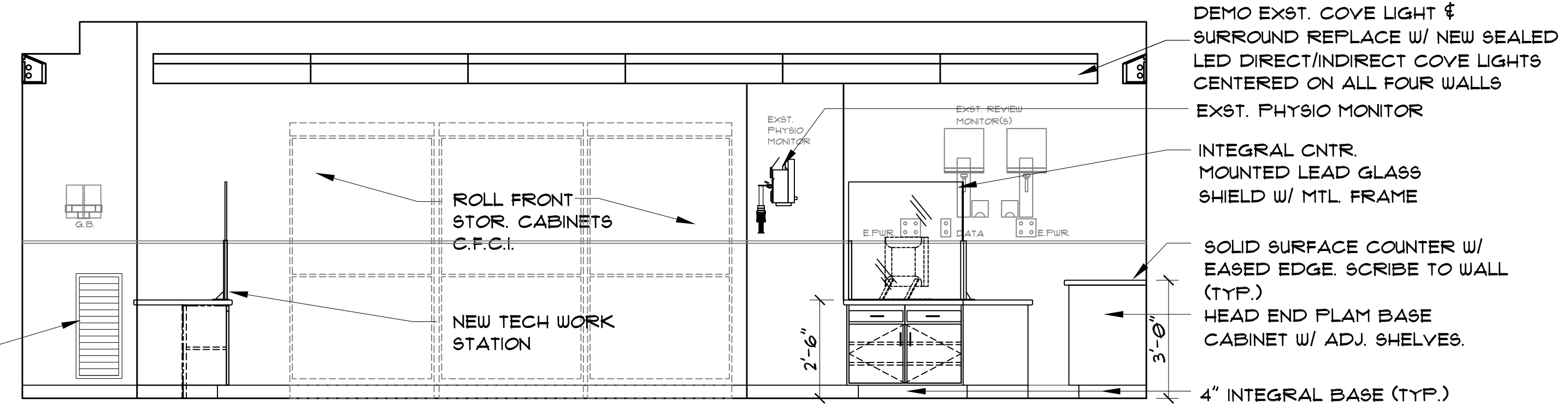
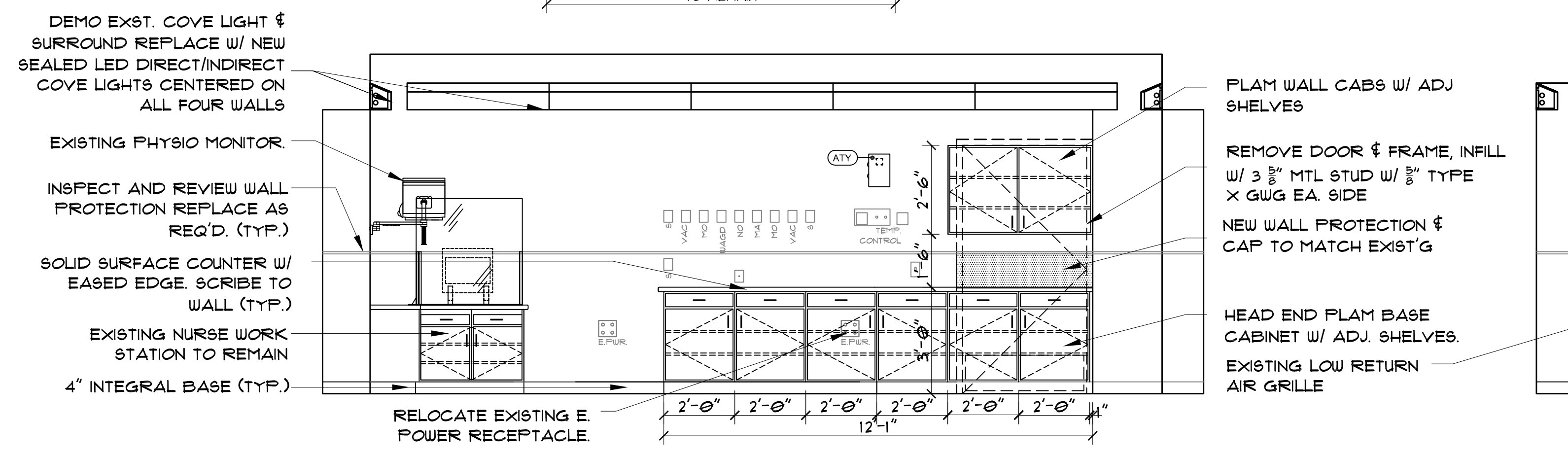
DATE: 2023/10/31  
 DRAWING NAME: **INTERIOR ELEVATIONS & CASEWORK DETAILS**  
 SHEET: **A3**



DEMO EXST. COVE LIGHT & SURROUND REPLACE W/ NEW SEALED LED DIRECT/INDIRECT COVE LIGHTS CENTERED ON ALL FOUR WALLS  
 EXISTING CONTROL RM VIEW WINDOWS TO REMAIN  
 FLAM CABINET W/ ADJ SHELVES ON EXIST'G COUNTER TOP. EXTEND TOP OF CAB TO SOFFIT ABOVE  
 MODIFY ISODUCT AS REQ'D BEHIND NEW CABINET  
 EXISTING BASE CAB & COUNTER TOP TO REMAIN



DEMO EXST. COVE LIGHT & SURROUND REPLACE W/ NEW SEALED LED DIRECT/INDIRECT COVE LIGHTS CENTERED ON ALL FOUR WALLS  
 EXISTING DUCT CHASE  
 INTEGRAL CNTR. MOUNTED LEAD GLASS SHIELD W/ MTL FRAME  
 NEW TECH WORK STATION  
 4" INTEGRAL BASE (TYP.)



DEMO EXST. COVE LIGHT & SURROUND REPLACE W/ NEW SEALED LED DIRECT/INDIRECT COVE LIGHTS CENTERED ON ALL FOUR WALLS  
 EXIST. PHYSIO MONITOR  
 INTEGRAL CNTR. MOUNTED LEAD GLASS SHIELD W/ MTL FRAME  
 SOLID SURFACE COUNTER W/ EASED EDGE. SCRIBE TO WALL (TYP.)  
 HEAD END FLAM BASE CABINET W/ ADJ. SHELVES.  
 4" INTEGRAL BASE (TYP.)

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Vermont Mechanical Incorporated  
P.O. Box 728  
Williston, Vermont 05495  
Phone: 802-862-5900  
Fax: 802-862-2219  
www.vtmechanical.com

October 30, 2023

Mr. David Farrington, Jr.  
Farrington Construction  
4724 Spear Street  
Shelburne, VT 05482

Re: Philips Azurion 7  
Interventional Radiology Rm #24  
McClure 1287  
UVM Medical Center  
Burlington VT

Dear David,

As requested, Vermont Mechanical, Inc. is pleased to offer this budgetary proposal for mechanical work associated with the proposed Philips Azurion 7 upgrade at IR Room 24 in McClure 1287. This proposal is valid for work being conducted in the calendar year 2024 as described below.

There is no Plumbing scope in this project.

**HVAC Scope:**

Regarding HVAC, the new Philips equipment will include new heat-producing units and a different headroom requirement. We referred to the 8/24/23 version of the IR 24 Philips drawings and the 6/26/19 IR 26 Philips drawings for the heat/cooling load analysis. This table summarizes this analysis which estimates that the proposed equipment loads will be about 103% of the existing loading. The standard design practice, applying a 15% safety factor to the actual cooling equipment selections back in 2019, will accommodate this slight change in loading.

Space	2019 Cooling Load	Proposed 2024 Cooling Load
IR Room 24 Exam Rm + Control Rm	5,272 Btuh	11,595 Btuh
IR Room 24 Equipment	25,468 Btuh	20,640 Btuh
IR Room 26 Equipment	19,015 Btuh	19,015 Btuh
Combined	49,755 Btuh	51,250 Btuh

Notes: All values are averaged heat emission during clinical use as reported by Philips.

2024 IR 24 includes UPS, 1 added lg monitor, 1 added workstation.

All "2019" IR Rm 24 peak loads are de-rated to 85% from the 11/1/2011 Philips AL table to reflect average heat emission during clinical use.

The cooling for these spaces is provided by the McClure MRI addition Air Handler above this floor level. To provide summertime cooling in case of loss of chilled water at that unit, a redundant DX coil and condensing unit system was included in the 2000 MRI Addition designs. The AHU is served on a tertiary chilled water loop remote from the chiller plant. To provide reliable cooling at the IR Rooms 24 and 26, and some MRI units, this DX system should be repaired during this project.

Overall, the general HVAC scope includes:

- modify the ductwork system to accommodate a higher ceiling elevation,
- remove an obsolete dedicated smoke exhaust fan and
- replace components in the DX cooling at the AHU.

## HVAC Scope Description

### Demolition

- Remove (6) existing ceiling mounted HEPA filtered diffusers from grid, disconnect flex duct and discard.
- Remove approximately 20 feet length of supply air duct along west wall of Room 1287. This duct is below the steel girder beams and will obstruct the new ceiling installation. Because this supply duct also cools the shared equipment room, temporary cooling of the Equipment Rm 1128 will be required in order for IR Rm 26 to remain in service. (Temporary cooling is about 2 tons and will be supplied by others).
- Decommission and remove aging temperature controls components including the Room Pressure Monitor for Rm 1287 (Door switches, Probes and tubing to remain), Room and Duct Humidity sensors for Rm 1287, and the room temperature sensor in 1287. Other DDC components are expected to remain in service after the project.
- Decommission an exhaust fan on the west wall serving in an obsolete smoke evacuation application. Fabricate insulated weatherproof cap for the wall penetration. Turn over fan to Facilities for use as maintenance spare since the fan probably has extremely low run time accumulated.

### New Work

- Layout revised supply duct design to allow new ceiling clearance. Fabricate and install new insulated duct, medium pressure class, reconnect to existing sections and VAV boxes.
- Furnish and install new HEPA filter supply diffusers compatible with the ceiling grid. Includes new 99.99% HEPA media. Provide a mix of (4) 24x24 and (4) 24x48 modules to match revised ceiling grid while maintain overall maximum air flow of 2100 CFM and maximum pressure drop of 0.50" wg.
- Furnish and install new sensors to replace those removed during demolition. Recommission applicable BAS controls equipment serving IR 24, Rm 1287. Integrate new Room Pressure Monitor onto BACNet system.
- Provide test and balance services from qualified subcontractor to measure and adjust air and water flow rates in HVAC systems for Rooms 1287 and 1128. Submit balance report at completion of project.

**Exclusions:** Access panels & doors, architectural caulking & finishes touch up & repairs, architectural/structural surfaces/finishes cutting & patching, commissioning agent services, concrete & masonry work including saw cutting/breakup/patching/leveling & grouting, core drilling and square openings larger than 8" round or 12" square, door undercutting and/or door grill openings, dumpsters, duct cleaning services, duct leak testing, electrical work, final cleaning, fire protection/suppression and fire line stub out, IAQ management, insurances beyond our standard

limits, liquidated damages, painting, prevailing wages, radiographic and/or dye penetrant testing, sales tax, seismic & vibration calculations & certifications, shift/weekend/holiday and-or overtime labor, sound & vibration testing, starters/disconnects & VFD's not factory equipped, structural steel and/or surveys and stamping, temporary barricades/partitions/furnishings protection and/or traffic control, temporary utilities and/or temporary HVAC systems or services, all fire dampers, fire/smoke dampers, smoke dampers, Floor protection, roof protection.

**Total price for the above scope of work:**

**\$54,740.00**

**(Fifty Four Thousand Seven Hundred Forty Dollars)**

Please contact me with any questions at (802) 264-1153 or Tom.Whitney@vtmechanical.com.

Sincerely,  
Vermont Mechanical, Inc.

*Thomas Whitney, PE*

Thomas Whitney, PE  
Chief Engineer

cc: Randy Kimball, VMI  
Bill Atkinson, VMI  
Jack Farrington

# Proposal



**Benoit Electric, Inc.**  
254 Industrial Lane - Berlin  
Barre, VT 05641  
(802) 229-1955

**No. 000184**  
**Date 10/25/2023**

Customer

PROPOSAL SUBMITTED TO <b>Farrington Construction</b>			PHONE	OTHER PHONE
ATTENTION <b>Jack Farrington</b>			E-MAIL ADDRESS	FAX NUMBER
ADDRESS <b>4788 Spear Street</b>			JOB NAME <b>UVMC IR 24 - Budget</b>	
CITY <b>Shelburne</b>	STATE <b>VT</b>	ZIP CODE <b>. 05482</b>	JOB LOCATION	

We hereby submit specifications and estimates for:

> **The following is a budget for philips equipment upgrades in IR suite 24.**

**Total Budget \$74,500.00**

**Allowance to raise the ceiling up several inches. This is to re-locate any existing electrical, fire alarm, and telecom systems.**

**Total Allowance \$32,000.00**

**Allowance for misc electrical repairs to existing within the IR suite**

**Total Allowance \$5,000.00**

**Exclusions**

- Core Holes
- Structural Steel

**We Propose** hereby to furnish material and labor complete in accordance with the above specifications, for the sum of:

**ONE HUNDRED ELEVEN THOUSAND FIVE HUNDRED DOLLARS** dollars (\$ 111,500.00 )

Payment to be made as follows:

Terms and Conditions:

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature

**Dan Bartlett**

Note: This proposal may be withdrawn by us if not accepted within 30 days.

**Acceptance of Proposal** - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature: \_\_\_\_\_

Date of Acceptance: \_\_\_\_\_

Signature: \_\_\_\_\_