

November 10, 2016

VIA EMAIL AND OVERNIGHT DELIVERY

Donna Jerry, Senior Health Policy Analyst
Green Mountain Care Board
Third Floor, City Center
89 Main Street
Montpelier, VT 05620

RE: Docket No. GMCB-013-16con, Proposed Renovation Project for The Pines at Rutland Center for Nursing and Rehabilitation, Rutland, VT

Dear Ms. Jerry:

EP Rutland Acquisition, LLC and Rutland Crossings, LLC (collectively, the Applicant) are submitting under separate cover an Application for Certificate of Need for Proposed Renovation Project for The Pines at Rutland Center for Nursing and Rehabilitation, Rutland, VT (the Application). In connection with that filing, the Applicant hereby requests expedited review of the Application by the Green Mountain Care Board (the Board) pursuant to 18 V.S.A. § 9440(c)(5) and Green Mountain Care Board Rule 4.000, Certificate of Need, Section 4.304.

Under Rule 4.304(1)(a) “an applicant seeking expedited review of an application must show, and the Board must determine, that: (a) the application is likely to be uncontested and the proposed project does not substantially alter services.”

The proposed application consists of the renovation of two nursing floors at The Pines at Rutland Center for Nursing and Rehabilitation by the current owners/operators. The Applicant does not anticipate that the Application will be contested. The Application does not raise significant health care policy or planning concerns under Rule 4.304(2)(a). Moreover, in accordance with Rule 4.304(2)(b)(1), the expenditures associated with the proposed project will not have any negative impact on the services provided, the cost of health care, or the financial strength of the Applicant.

Based on the foregoing, the Applicant respectfully requests that the Board grant expedited review for its CON application, under 18 V.S.A. § 9440(c)(5) and Green Mountain Care Board Rule 4.000, Certificate of Need, Section 4.304.

Thank you for your consideration.

Sincerely yours,



Shireen T. Hart

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**RE: Docket No. GMCB-013-16con, Proposed Renovation Project for The Pines at
Rutland Center for Nursing and Rehabilitation, Rutland, VT**

Dear Ms. Jerry:

On behalf of the EP Rutland Acquisition, LLC and Rutland Crossings, LLC, the Applicant, I am submitting the following documents for filing in the above matter:

- the original Project Narrative (including attachments) and two copies; and
- the original Verification Under Oath and two copies.

We understand that the Board will issue an invoice for the application fee.

I am also emailing to you in Excel, **Attachment 1**, Required CON Tables. I am sending a duplicate application (with attachments) to Commissioner Monica Caserta Hutt under separate cover.

Thank you for your ongoing assistance with this matter.

Sincerely yours,



Shireen T. Hart
Encs.

**STATE OF VERMONT
GREEN MOUNTAIN CARE BOARD**

IN RE:

**PROPOSED RENOVATION PROJECT FOR
THE PINES AT RUTLAND CENTER FOR
NURSING AND REHABILITATION, RUTLAND, VT**

GMCB-013-16CON

VERIFICATION UNDER OATH

Marvin Ostreicher, being duly sworn, states on oath as follows:

1. My name is Marvin Ostreicher. I am the managing member of Rutland Crossings LLC (the "Applicant"). I have reviewed the Applicant's Project Narrative in Support of Application for Certificate of Need for Proposed Renovation Project for The Pines at Rutland Center for Nursing And Rehabilitation, Rutland, VT (the "Submission").
2. Based on my personal knowledge and after diligent inquiry, I attest that the information contained in the Submission is true, accurate and complete, does not contain any untrue statement of a material fact, and does not omit to state a material fact.
3. My personal knowledge of the truth, accuracy and completeness of the information contained in the Submission is based upon either my actual knowledge of the subject information or upon information reasonably believed by me to be true and reliable and provided to me by the individuals identified below in paragraph 4. Each of these individuals has also certified that the information they have provided is true, accurate and complete, does not contain any untrue statement of a material fact and does not omit to state a material fact.
4. The following individuals have provided information or documents to me in connection with the Submission and each individual has certified, based either upon his or her actual knowledge of the subject information or, where specifically identified in such certification, based on information reasonably believed by the individual to be reliable, that the information or documents provided are true, accurate and complete, do not contain any untrue statement of a material fact, and do not omit to state a material fact:

David Ostreicher, CFO, National HealthCare Associates

John Russell, Construction Manager, National Health Care Associates

Andrew Bachand CPA

Aaron Hall, A/Z Corp

Carmelo Ferla, R.A., MBH ARCHITECTURE, LLC.

Yosef Daskal, Director of Procurement, National HealthCare Associates

5. In the event that the information contained in the Submission becomes untrue, inaccurate or incomplete in any material respect, I acknowledge my obligation to notify the Green

Mountain Care Board and to supplement the Submission as soon as I know, or reasonably should know, that the information or document has become untrue, inaccurate or incomplete in any material respect.

Dated this 9 day of November, 2016.



Marvin Ostreicher

On November 9, 2016, Marvin Ostreicher appeared before me and swore to the truth, accuracy and completeness of the foregoing.



Notary public

My commission expires: 9/30/2020

STATE OF VERMONT

GREEN MOUNTAIN CARE BOARD

IN RE:

**PROPOSED RENOVATION PROJECT FOR
THE PINES AT RUTLAND CENTER FOR
NURSING AND REHABILITATION, RUTLAND, VT**

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GMCB-013-16CON

**PROJECT NARRATIVE IN SUPPORT OF APPLICATION FOR CERTIFICATE OF
NEED FOR PROPOSED RENOVATION PROJECT FOR THE PINES AT RUTLAND
CENTER FOR NURSING AND REHABILITATION, RUTLAND, VT**

EP Rutland Acquisition, LLC and Rutland Crossings, LLC (collectively, the Applicant) submit this Project Narrative in support of the Application for Certificate of Need to renovate two floors of The Pines at Rutland Center for Nursing and Rehabilitation, for a total project cost of three million seven hundred seventy-two thousand and nine dollars (\$3,772,009).

I. INTRODUCTION

The Pines at Rutland Center for Health & Rehabilitation is an existing, fully occupied, 4-story skilled nursing facility located in Rutland, Vermont. The proposed project involves interior renovations to the third floor (11,692 S.F.) and fourth floor (11,692 S.F.) nursing units and includes all new finishes (floors and walls), painting of existing hung acoustical ceiling grids and panels, new ceiling grid and panels in certain locations, new lighting and new millwork. Areas of minor construction will involve modifying four existing 4-bed bedrooms (2 on each floor) by constructing full height partitions that will split each bedroom in two in order to afford a bit more resident privacy. The proposed configuration will create two semi-private zones within each of the existing 4-bed bedroom spaces.

Other areas of construction will include the creation of a Med Room behind each Nurses Station, relocation of the Clean Work Rooms, relocation of the Nourishment areas into the existing Recreation/Dining Rooms and the creation of a new vented Oxygen Closet. Work will also include replacement of existing lighting fixtures, existing electrical devices and plates to hospital grade devices, a new nurse call system, various HVAC and plumbing upgrades and repairs. New resident furniture will also be provided.

In summary, the majority of the work involves finish upgrades within the existing nursing units, with some construction taking place in a few areas to better suit the needs of the residents and the staff within the nursing home.

II. BACKGROUND

A. Applicant Information.

Rutland Crossings, LLC d/b/a The Pines at Rutland Center for Nursing and Rehabilitation (The Pines) is organized as the entity that operates the skilled nursing facility. Rutland Crossings, LLC leases the property from EP Rutland Acquisition, LLC a related organization which is organized to own the property. The Applicant is an affiliate of National Health Care Associates, Inc. (NHCA), a corporation formed in the State of Connecticut in 1984. Its principal offices are located at 20 E. Sunrise Highway, Valley Stream, NY 11581. NHCA owns and/or operates a network of thirty eight (38) skilled nursing and rehabilitation centers and assisted living centers throughout the Northeast. NHCA specializes in offering extensive programs for short-term rehabilitation and post-hospital care in areas including orthopedic, cardiovascular, neurological, and post-surgical recovery and rehabilitation.

B. Facility Information.

The Pines is located at 99 Allen Street, Rutland, Vermont 05701. It is a skilled nursing and rehabilitation center for short-term and long-term residents and includes one hundred twenty-five (125) beds. The Pines provides a comprehensive array of specialized services and programs, including clinical care, physical, occupational and speech therapies, in addition to social services and recreation therapies in a warm, healing environment.

C. CMS Measures.

The Pines has the following CMS ratings:

- Overall rating: 4-star (above average)
- Health Inspection: 3-star (average)
- Staffing: 3-star (average)
- RN Staffing: 4-star (above average)
- Quality Measure: 5-star (much above average)

D. CMS RN Staffing Measures.

Its RN Staffing numbers are above average:

	The Pines	Vermont Average
Total number of residents	111 residents	70.4 residents
Total number of licensed nurse staff hours per resident per day	1 hour and 43 minutes	1 hour and 41 minutes
RN hours per resident per day	56 minutes	57 minutes
LPN/LVN hours per resident per day	47 minutes	44 minutes
CNA hours per resident per day	2 hours and 13 minutes	2 hours and 30 minutes
Physical therapy staff hours per resident per day	9 minutes	6 minutes

E. CMS Quality Measures.

The Quality Measures are much above average:

Short-Stay Measures	The Pines Quality	Vermont Average	Performance of The Pines Versus Vermont Average
NEW Percentage of short-stay residents who made improvements in function. <i>Higher percentages are better.</i>	83.6%	73.2%	Better
NEW Percentage of short-stay residents who were re-hospitalized after a nursing home admission. <i>Lower percentages are better.</i>	17.2%	17.9%	Better
NEW Percentage of short-stay residents who have had an outpatient emergency department visit. <i>Lower percentages are better.</i>	10.7%	13.7%	Better
NEW Percentage of short-stay residents who were successfully discharged to the community. <i>Higher percentages are better.</i>	66.9%	62.2%	Better
Percentage of short-stay residents who self-report moderate to severe pain. <i>Lower percentages are better.</i>	20.0%	19.0%	Worse
Percentage of short-stay residents with pressure ulcers that are new or worsened. <i>Lower percentages are better.</i>	0.0%	0.8%	Better
Percentage of short-stay residents assessed and given, appropriately, the seasonal influenza vaccine. <i>Higher percentages are better.</i>	84.0%	80.0%	Better
Percentage of short-stay residents assessed and given, appropriately, the pneumococcal vaccine. <i>Higher percentages are better.</i>	87.2%	79.0%	Better
Percentage of short-stay residents who newly received an antipsychotic medication. <i>Lower percentages are better.</i>	0.2%	1.1%	Better

Long-Stay Measures	The Pines Quality	Vermont Average	Performance of The Pines Versus Vermont Average
Percentage of long-stay residents experiencing one or more falls with major injury. <i>Lower percentages are better.</i>	1.4%	3.8%	Better
Percentage of long-stay residents with a urinary tract infection. <i>Lower percentages are better.</i>	10.2%	3.4%	Worse
Percentage of long-stay residents who self-report moderate to severe pain. <i>Lower percentages are better.</i>	6.7%	10.8%	Better
Percentage of long-stay high-risk residents with pressure ulcers. <i>Lower percentages are better.</i>	2.2%	4.3%	Better
Percentage of long-stay low-risk residents who lose control of their bowels or bladder. <i>Lower percentages are better.</i>	59.1%	50.9%	Worse
Percentage of long-stay residents who have/had a catheter inserted and left in their bladder. <i>Lower percentages are better.</i>	1.0%	3.3%	Better
Percentage of long-stay residents who were physically restrained. <i>Lower percentages are better.</i>	0.0%	0.2%	Better

Long-Stay Measures	The Pines Quality	Vermont Average	Performance of The Pines Versus Vermont Average
NEW Percentage of long-stay residents whose ability to move independently worsened. <i>Lower percentages are better.</i>	13.1%	22.4%	Better
Percentage of long-stay residents whose need for help with daily activities has increased. <i>Lower percentages are better.</i>	16.9%	18.4%	Better
Percentage of long-stay residents who lose too much weight. <i>Lower percentages are better.</i>	4.8%	7.6%	Better
Percentage of long-stay residents who have depressive symptoms. <i>Lower percentages are better.</i>	15.8%	9.5%	Worse
Percentage of long-stay residents who received an antianxiety or hypnotic medication. <i>Lower percentages are better.</i>	22.4%	20.3%	Worse
Percentage of long-stay residents assessed and given, appropriately, the seasonal influenza vaccine. <i>Higher percentages are better.</i>	92.7%	95.7%	Worse
Percentage of long-stay residents assessed and given, appropriately, the pneumococcal vaccine. <i>Higher percentages are better.</i>	98.0%	92.0%	Better
Percentage of long-stay residents who received an antipsychotic medication. <i>Lower percentages are better.</i>	5.6%	16.6%	Better

F. Industry Recognition and Awards.

The Pines has been designated by the state of Vermont as one of the top five skilled nursing and rehabilitation centers in the state of Vermont through the “Nursing Home Quality Award – 2015.” The award is based on Centers for Medicare Services Star rating, customer satisfaction survey results, participation in “The Advancing Excellence Campaign” and successful state survey results (preferably deficiency-free). The Pines is also proud of its customer service results obtained by an independent company, Pinnacle Quality Insights. The Pines received the "Customer Experience Award" in 2015 and again in 2016, demonstrating the center's commitment to the "Four Pillars" of its mission statement: *Kindness, Compassion, Service and Excellence.*

U.S. News & World Report also named The Pines as one of its “Best Nursing Homes” for 2013, 2014 and 2015.

II. DETAILED PROJECT DESCRIPTION

A. Project Need.

The renovations to the third and fourth floors of The Pines are needed to modernize the facility in order to improve resident experience and the quality of care. The second floor was renovated approximately four years ago, so this project would render the remaining two nursing floors consistent with the other nursing floor.

B. Project Description and Details.

The Applicant will renovate approximately 23,384 square feet of The Pines. There is approximately 11,692 of square footage per floor.

The proposed renovations will consist of the following renovations:

- **Refresh Patient Rooms**

This scope of work includes:

- New LVT with vinyl base installed over the existing floor in the bedroom.
- New sheet vinyl with vinyl base installed over the existing floor in the bathroom.
- Removing and properly disposing of ceiling tiles via an asbestos removal contractor.
- Painting the existing ceiling grid including the removal and reinstallation of cubicle curtain tracks.
- Furnishing and installing new 2x4 ceiling tile to fit in the existing repainted ceiling grid.
- Painting the existing gypsum ceiling at the bathroom.
- Removing the existing wardrobes.
- Remove the existing millwork at four bedrooms.
- Removing the wall finishes and prepping the walls.
- Wallcovering at the headwall. We have included painting remaining walls including the bathroom.
- New corner guards.
- A new mirror at the restrooms.
- A new light fixture above each bed.
- One new sconce in each room.
- A new outlet per bed for television.
- 43 new television brackets and blocking. Televisions will be furnished and installed by others.
- New nurse call system.

- **Refresh Corridor**

This scope of work includes:

- New carpet with base installed over the existing floor.
- Removing and properly disposing of ceiling tiles via an asbestos removal contractor.
- Painting the existing ceiling grid.
- Furnishing and installing new 2x4 ceiling tile.
- Removing the wall finishes and prepping the walls.
- Painting below the handrail.
- Furnishing and installing wallcovering above the handrail.
- New corner guards.
- Providing a new cover to the existing handrail.
- New recessed light fixtures.

- **Bathing Suites**

This scope of work includes:

- Installing new VCT with vinyl base at the restroom over the existing floor.
- Removing and properly disposing of ceiling tiles via an asbestos removal contractor.
- Painting the existing ceiling grid.
- Furnishing and installing new 2x4 ceiling tile.
- Removing the wall finishes and prepping the walls.
- Painting the remaining walls.
- A new mirror at the restroom.
- No work is included at the tub room.
- Allowances for repairing leaks at the floor drains.

- **Nurses Stations & Med Rooms**

This scope of work includes:

- New millwork for the nurses' station and med rooms.
- New gypsum wall and door.
- Furnishing and installing new 2x4 acoustical ceiling tile to fit in the repainted grid.
- Painting all walls.
- New light fixtures.
- Necessary wiring.
- Extending the walls to the deck.
- Does not include sinks/eyewash in the Med rooms.

- **New Flooring for the Dining Rooms**

This scope of work includes providing new flooring over the existing flooring and new base.

C. Project Costs.

The Project Costs are set forth in the CON Required Financial Tables which are submitted as **Attachment 1**.

- The Construction Costs for the proposed project are:

Renovation costs:	\$2,494,957
Sitework, Sidewalks and Paving:	\$ 62,000 ¹
Construction contingency and escalation:	\$ 319,196
	\$2,876,153

As support for these figures, please see:

“Renovations costs” and “Construction contingency and escalation.” Please see Feasibility Study Budget dated June 27, 2016, **Attachment 2**.

¹ The original total from Fabian Earth Moving is \$56,484. The proposed alternate would have credited back \$7,050, but the Applicant is not proceeding with that alternate. There is added to the total a ten percent (10%) contingency that was then rounded down to \$62,000 ($\$56,484 \times 10\% = \$4,648.40$; $\$56,484 + \$4,648.40 = \$62,132.40$).

“**Sitework, Sidewalks and Paving,**” please see **Attachment 3**, from Fabian Earth Moving.

• <u>The Related Project Costs are as follows:</u>	
Furnishings, fixtures and other equipment:	\$ 431,638
Architectural/Engineering fees:	\$ 133,100
Debt Financing Expenses:	\$ 120,750
Other:	\$ 210,368
	\$ 895,856

As support for these figures, please see:

“**Furnishings, fixtures and other equipment:**” The proposed costs for these are detailed in a budget from March 2013, which is submitted as **Attachment 4**. Please note that the figure in **Attachment 1**, Table 1, for “Furnishings, Fixtures and Other Equip” includes a ten-percent (10%) contingency (\$392,398 + \$39,240 = \$431,638).

“**Architectural/Engineering fees:**” See **Attachment 5**.

“**Debt Financing Expenses:**” \$78,750 estimated for capitalized interest during the 12 month construction period, and \$42,000 for debt financing costs.

“**Other:**” This includes consultant fees, builders risk insurance, the CON application fee, air testing, fire alarm system, fridge/freezer, temp storage, new telephone system, tel/data, printing, attorney’s fees and 10% contingency.

• <u>The Total Project Cost is estimated to be:</u>	
Construction costs:	\$2,876,153
<u>Related Project Costs:</u>	<u>\$ 895,856</u>
	\$3,772,009

D. Architect.

The Applicant retained MBH Architecture LLC (MBH) to act as architect for the project. MBH is responsible for preparing all plans, designs and drawings related to the project and for reviewing the work of the general contractor. A copy of the MBH project plans and drawings (the MBH Plans) is submitted as **Attachment 6**. The MBH Plans include the following which show the current plan and the new plans in full detail:

- A-001 Cover Sheet
- A-002 Drawing List/Symbols/Abbreviations/General Notes/Code Data
- A-003 Fire Stopping/ UL Details/ Wall Types
- A-004 Door and Hardware Schedules and Details
- AD-130 Third Floor Demolition Plan
- AD-140 Fourth Floor Demolition Plan

- A-130 Third Floor Plan
- A-140 Fourth Floor Plan
- A-200 Enlarged Third Floor Bedroom Plans and Elevations
- A-201 Enlarged Fourth Floor Bedroom Plans and Elevations
- A-730 Third Floor Reflected Ceiling Plan
- A-740 Fourth Floor Reflected Ceiling Plan
- A-800 Mill Work Plans and Elevations
- A-801 Mill Work Plans and Elevations
- A-802 Mill Work Section Details
- A-803 Mill Work Section Details
- F2 Finish Plans – Fourth Floor
- F1 Finish Plans – Third Floor

E. General Contractor.

NHCA has retained A/Z Corp. (A/Z) to act as general contractor, managing and overseeing completion of the renovation. The Applicant, through NHCA, has a longstanding relationship with A/Z. Currently, A/Z is working on a complex project in New Hampshire for NHCA, with the same type of delivery method. The Applicant has had an excellent experience working with A/Z. Moreover, in previous projects, A/Z has often been the lowest bidder.

A copy of A/Z's Estimate is submitted as **Attachment 7**. This Estimate shows the costs for the various components of the project.

F. Temporary Displacement.

The renovation includes approximately 23,384 square feet of the facility. In order to ensure ongoing resident safety and minimize any disruption to residents during the renovation, NHCA anticipates completing the renovation in ten (10) phases, four (4) to five (5) weeks per phase, for a total of approximately fifty (50) weeks. Residents will be given proper, advance notice and will be relocated within the facility while their rooms undergo upgrades. Any displacement of residents will be temporary and of a short duration. The phasing of the construction is detailed in **Attachment 8**, at AD-130 Third Floor Demolition Plan and AD-140 Fourth Floor Demolition Plan.

G. Project Financing.

The total project cost for the renovation is approximately three million seven hundred twenty-two thousand and nine dollars (\$3,772,009). The project will be funded by borrowing approximately \$3,772,009, with an amortization over twenty (20) years at an estimated 4.5% interest rate. The funding will include \$3,298,371 for renovations/improvements (which includes \$78,750 estimated for capitalized interest during the 12 month construction period), \$431,638 for furniture/equipment and \$42,000 for debt financing costs.

Please refer to the Rutland Crossings LLC and EP Rutland Acquisitions, LLC d/b/a The Pines at Rutland Combined Financial Statements for the Years Ending 2016 (Forecasted), 2017 through 2019 (Projected) and 2014 and 2015 (Historical), **Attachment 9**, at 6, Note 3.

It is anticipated at this time that the Applicant will finance the project through M&T Bank Corp. with whom it has a longstanding lending relationship, but that determination will not be made until the proposed project is closer to fruition.

H. Projected Impact on Census.

Overall census numbers are projected to remain fairly consistent with the 2015/16 census numbers through 2017 while construction occurs and residents are relocated within the facility. Census is then projected to increase in 2018 and 2019 after construction is complete.

Projected Census - Nursing Home	2017	2018	2019
Private	2,920	3,650	4,015
Medicaid	29,200	28,470	27,740
Medicare	7,665	9,125	9,490
Commercial & Other	2,190	2,190	2,190
Total	41,975	43,435	43,435
Occupancy Percent	92.00	95.20	95.20

Attachment 9, at 6, Note 4.

I. Revenue Projections.

Private rates are anticipated to increase \$10 per day annually to cover normal inflationary costs. The average rate in 2015 was \$362 per day.

The 2017 Medicaid rates are projected at the July 1, 2016 rate of \$240.29 plus an estimated 2.0% increase annually to cover normal inflationary costs. The Medicaid rate is also increased effective January 1, 2018 for the increased capital rate adjustment estimated to be \$12.16 per day. Medicaid Ventilator residents are expected to remain at the same census level as in 2015, and their rate is estimated at the 2015 average rate of \$442.60 and inflated 2% annually for inflation.

Medicare rates are expected to increase 2% annually to cover normal inflationary costs starting with the 2015 average Medicare rate of \$565.47.

Commercial and "other" rates are based on the 2015 average rate of \$400 per day and increased 2% each year for inflation. Private and Part B ancillaries are expected to increase 2% per year using revenues as a base.

Attachment 9, at 6-7, Note 4.

J. Expense Projections.

Overall Expenses: except where otherwise indicated, expenses are projected using the current facility's historical 2015 costs increased annually by an estimated 2.0% for inflation.

Overall Census Changes: All Nursing and Dietary costs along with related payroll taxes and benefits are anticipated to increase/decrease at the same ratio of the overall census change on top of the 2% annual inflation increase.

Medicare Census Changes: All Rehabilitative and Pharmacy costs along with related payroll taxes and benefits are anticipated to increase at the same ratio of the Medicare census change on top of the 2% annual inflation increase.

Interest Costs: New debt on the renovation project is calculated based on amortization schedules for projected debt. Existing debt has a maturity date of November 1, 2018 and is anticipated to be refinanced at a rate of 4.5% without a Swap agreement for its existing amortization period.

Depreciation: This is calculated based on estimated allocation plus an annual increase for normal equipment and furnishings of \$40,000 annually and improvements of \$30,000.

Amortization: The existing amortization was continued plus the amount calculated for the new renovation debt based on amortizing projected financing costs of \$42,000, being amortized over the 20 year life of the loan.

Property Insurance and Taxes: Property insurance and property taxes were projected to increase by 60% upon completion of the renovations.

Attachment 9, at 7, Note 5.

III. INSTITUTE OF HEALTH IMPROVEMENT AND TRIPLE AIMS.

A. Improving the Individual Experience of Care.

The Applicant recognizes that the physical environment influences quality of life. The improvements are designed to create an environment that is not institutional in appearance or function. The goal of the renovation is to create a warmer and more comfortable environment that looks and functions like a household and that is consistent from floor to floor. The renovations to the dining and recreation areas will facilitate more meaningful person-to-person social interchange with other residents, family, friends and staff. The renovations to the resident rooms, including the installation of partitions to the four-bed bedrooms, will promote the dignity and privacy of residents. In addition to improving the quality of the resident experience, the renovations are designed to improve the quality of resident care. The changes to the nursing stations will allow staff to more efficiently process and manage resident charts and will improve the ability of staff to monitor residents. The installation of ventilated storage closets for oxygen tanks will better protect the equipment from damage and make the equipment more accessible to

staff. Moving the Med Room to behind the Nurses Station and the Nourishment Area to the Dining Area likewise facilitates safer and more efficient patient care and services.

B. Improving Health Populations.

The Pines is committed to providing the highest level of quality of care while maintaining a nurturing environment for both residents and families. Staff actively works with residents and their family and providers in order to minimize the use of unnecessary medications, provide proactive and preventative health care services, and help the resident achieve the desired quality of life. The renovations will improve the quality of life of residents and will create a more efficient and functional environment for staff. These improvements to the physical environment will advance The Pines' ongoing efforts to improve the health population.

C. Reducing Per Capita Cost of Care for Populations.

The Pines provides efficient and effective care to meet the needs of its individual residents. The renovations will not impact the cost of the delivery of care or access to care.

IV. CONSISTENCY WITH HUMAN RESOURCE ALLOCATION PLAN (HRAP) STANDARDS.

A. HRAP STANDARD 1.9: Applicants proposing construction projects shall show that the costs and methods of the proposed construction are necessary and reasonable. Applicants shall show that the project is cost-effective and that reasonable energy conservation measures have been taken.

Response: The Applicant is confident that the proposed renovation project is being done in the most cost-efficient manner possible. Having established a working history with the general contractor that is ongoing, the Applicant is comfortable entering into a project of this magnitude. The Applicant is comfortable with the costs associated with this project based on similar projects for NHCA and based on the pricing of A/Z in similar projects.

The proposed renovations are necessary to bring the facility in keeping with the evolution of the delivery of services in a nursing home setting. Upgrades are warranted for resident dignity and service delivery, efficiency and safety.

Given that the nature of the renovations is primarily finish upgrades, energy conservation does not come into play, except that the project includes changing approximately 360 light fixtures to LED fixtures.

- B. HRAP STANDARD 1.10: Applicants proposing new health projects requiring construction shall show such projects are energy efficient. As appropriate, applicants shall show that Efficiency Vermont, or an organization with similar expertise, has been consulted on the project.**

Response: Not applicable. The Applicant is not proposing a new health care project. The proposed project will renovate and refine what is already being provided to residents at The Pines by modifying and improving the physical environment to improve the quality of life for residents and create more efficiency with respect to the provision of high quality health care services. However, the Applicant does wish to highlight that the project includes changing approximately 360 light fixtures to LED fixtures for energy efficiency purposes.

- C. HRAP STANDARD 1.11: Applicants proposing new health care projects requiring new construction shall demonstrate that new construction is the more appropriate alternative when compared to renovation.**

Response: Not applicable. The Applicant is proposing to renovate The Pines. There will be no new construction or expansion of the existing footprint for the facility. Renovation was selected as the best approach to reduce costs, minimize the impact of the project on the residents, and ultimately provide an improved physical environment that best supports the level of care provided at The Pines.

- D. HRAP STANDARD 1.12: New construction health care projects shall comply with the Guidelines for Design and Construction of Health Care Facilities issued by the Facility Guidelines Institute (FGI), 2014 Edition.**

Response: Not applicable. There will be no new construction or expansion of the existing footprint for the facility. Alterations to the existing spaces have limitations on upgrading to new standards because of structure, costs, and occupancy.

- E. HRAP STANDARD 5.2: Nursing homes or similar entities seeking to replace or increase beds shall show the beds are needed. Such showing of need shall be confirmed by the Department of Disabilities, Aging and Independent Living.**

Response: Not applicable. The Applicant does not seek to replace or increase the number of beds at The Pines.

- F. HRAP STANDARD 5.3: Nursing homes or similar entities seeking a certificate of need shall provide a written recommendation from the Department of Disabilities, Aging and Independent Living supporting the new health care project proposal.**

Response: The Applicant will be submitting a copy of this application and attachments to the Department of Disabilities, Aging and Independent Living to request the Commissioner's written recommendation supporting the proposed renovation project.

G. HRAP STANDARD 5.4: Nursing homes or similar entities seeking a certificate of need shall demonstrate the applicant is sufficiently capitalized and insured to protect residents against substandard care and to provide sufficient protection in the event of legal liability of the facility or the facility's operators.

Response: Please refer to the Rutland Crossings LLC and EP Rutland Acquisitions, LLC d/b/a The Pines at Rutland Combined Financial Statements for the Years Ending 2016 (Forecasted), 2017 through 2019 (Projected) and 2014 and 2015 (Historical), **Attachment 9** as support for the assertion that the Applicant is sufficiently capitalized. The Pines current favorable financial condition and projections, **Attachment 9**, along with the required tables, **Attachment 1**, demonstrate that the current and long-term financial strength is enhanced as a result of this project.

Evidence of the current liability insurance for The Pines is submitted as **Attachment 10**, reflecting sufficient protection in the event of legal liability of the facility or the facility's operators.

V. COMPLIANCE WITH 18 V.S.A. § 9437 (2)-(6) AND 18 V.S.A. § 9437 (8).

A. 18 V.S.A. § 9437 (2): The cost of the project is reasonable because:

1. The applicant's financial condition will sustain any financial burden likely to result from completion of the project.

Response: Please refer to the Rutland Crossings LLC and EP Rutland Acquisitions, LLC d/b/a The Pines at Rutland Combined Financial Statements for the Years Ending 2016 (Forecasted), 2017 through 2019 (Projected) and 2014 and 2015 (Historical), **Attachment 9** as support for the assertion that the Applicant is sufficiently capitalized. The Pines' current favorable financial condition and projections, **Attachment 9**, along with the required tables, **Attachment 1**, demonstrate that the current and long-term financial strength is enhanced as a result of this project.

2. The project will not result in an undue increase in the costs of medical care. In making a finding under this subdivision, the commissioner shall consider and weigh relevant facts including:

Response: The cost of the project will not result in an increase in the cost of medical care. Please refer to **Attachment 9**, the Rutland Crossings LLC and EP Rutland Acquisitions, LLC d/b/a The Pines at Rutland Combined Financial Statements for the Years Ending 2016 (Forecasted), 2017 through 2019 (Projected) and 2014 and 2015 (Historical), and **Attachment 1**, CON Required Financial Tables.

- i. **The financial implications of the project on hospitals and other clinical settings, including the impact on their services, expenditures and charges; and**

Response: The project does not impact hospitals and other clinical settings. The proposed renovations will ensure that The Pines' residents in the future will be able to receive skilled care within the community that they live in. Staff at The Pines will work closely with the local hospital with respect to any resident admissions and discharges back to the community.

- ii. **Whether the impact on services, expenditures, and charges is outweighed by the benefit of the project to the public.**

Response: The project is expected to have beneficial impacts on services provided to residents of The Pines. The renovations will allow the facility to deliver health care services that meet the current and anticipated expectations of residents utilizing these services. By upgrading the nursing floors, it is anticipated that residents, staff, families, providers and referral sources will be rewarded by the dignity, safety and innovation that a modern and updated environment provides. All residents in long term care facilities deserve to be in a setting that is clean, updated and supports the most current care delivery methods.

- 3. **Less expensive alternatives do not exist, would be unsatisfactory, or are not feasible or appropriate.**

Response: Less expensive alternatives do not exist for The Pines. A renovation of existing space is the most cost effective method to modernize the nursing floors. Again, having worked with A/Z, the Applicant is confident that it will be working with a general contractor who is competitively priced in the marketplace.

- B. **18 V.S.A. § 9437 (3): There is an identifiable, existing, or reasonably anticipated need for the proposed project which is appropriate for the applicant to provide.**

Response: The proposed project is necessary in order to create a warmer and more comfortable home-like setting for residents, provide more meaningful opportunities for social interchange, help promote resident dignity and privacy, and create a more efficient, safe and effective environment for the delivery of high quality health care services for the community.

C. 18 V.S.A. § 9437 (4): The project will improve the quality of health care in the state or provide greater access to health care for Vermont's residents, or both.

Response: Vermont residents living at The Pines will experience a better quality of life and improved health care delivery as a result of the renovations. The changes proposed by the Applicant to the existing facility follow recommended best practices for building and renovating in a skilled nursing facility. The Pines will continue to participate in the Vermont Health Care Association and to collaborate with other providers throughout the state.

D. 18 V.S.A. § 9437 (5): The project will not have an undue adverse impact on any other existing services provided by the applicant.

Response: The proposed project will not have any adverse impact on existing services provided at the facility. The Applicant's finances are independent of NHCA's finances, such that the peaks and valleys in The Pines' operations do not impact upon other NHCA facilities or operations. They have separate taxpayer numbers and separate insurance.

Instead, the renovations will improve the quality of life of the residents, as well as the efficiency and effectiveness of the delivery of high-quality health care services at the facility. Likewise, the renovations will support and strengthen NHCA's reputation for quality and modernity.

E. 18 V.S.A. § 9437 (6): The project will serve the public good.

Response: The proposed project will serve the public good by creating a skilled nursing home that physically enables best practices. The renovations will create a warm and comfortable physical environment that will improve the quality of life of its residents. It will also serve the public good by creating a more home-like setting for residents of the community in need of assistance with day-to-day living, providing meaningful opportunities for social interchange, promoting resident dignity and privacy, and creating a more efficient and effective environment for the delivery of high quality health care services for the community. Finally, the renovations will make the four floors of the nursing home consistent from floor to floor.

F. 18 V.S.A. § 9437 (8): If the application is for the purchase or lease of new health care information technology, it conforms with the health information technology plan established under 18 V.S.A. § 9351.

Response: Not applicable. The scope of the project does not include the purchase or lease of any new health care information technology.

Attachment No.	Description
Attachment 1	CON Required Financial Tables
Attachment 2	Feasibility Study Budget dated June 27, 2016 (from Attachment 7)
Attachment 3	Fabian Earth Moving Estimate for Site Work: Sidewalks and Pathways
Attachment 4	Furnishings, Fixtures and Other Equipment Detailed in March 2013 Budget
Attachment 5	Architectural/Engineering fees
Attachment 6	MBH Project Plans and Drawings
Attachment 7	A/Z Corp.'s Estimate
Attachment 8	Construction Phasing Plan AD-130 Third Floor and AD-140 Fourth Floor
Attachment 9	Combined Financial Statements for the Years Ending 2014 - 2019
Attachment 10	The Pines' Current Liability Insurance Binder

ATTACHMENT 1

**The Pines at Rutland
Renovation Project**

Required Tables

When completing the tables please note that you need only fill-in the **shaded fields**. Fields with diagonal lines indicating **N/A** do not require an entry. The CON Application Form tables, when completed electronically, are set up to calculate totals as well as pre-populate fields in other tables for you. If you have any questions please contact Division staff. Also, please contact Division staff prior to determining if a given table may not be applicable for your project.

Applicants are encouraged to submit an electronic version of a completed application via attachment to email. Please send electronic versions as attachments to email addressed to: Donna.Jerry@state.vt.us

<u>Table</u>	<u>Description</u>
1	Project Costs
2	Debt Financing Arrangement: Sources & Uses of Funds
3A	Income Statement: Without Project
3B	Income Statement: Project Only
3C	Income Statement: With Project (no 'fill-in' required)
4A	Balance Sheet - Unrestricted Funds: Without Project
4B	Balance Sheet - Unrestricted Funds: Project Only
4C	Balance Sheet - Unrestricted Funds: With Project (no 'fill-in' required)
5A	Statement of Cash Flows: Without Project
5B	Statement of Cash Flows: Project Only
5C	Statement of Cash Flows: With Project (no 'fill-in' required)
6A	Revenue Source Projections: Without Project
6B	Revenue Source Projections: Project Only
6C	Revenue Source Projections: With Project (no 'fill-in' required)
7	Utilization Projections: Totals
8	Utilization Projections: Project Specific
9	Staffing Projections: Totals

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 1
PROJECT COSTS

Construction Costs	
1. New Construction	\$ -
2. Renovation	2,494,957
3. Site Work	62,000
4. Fixed Equipment	-
5. Design/Bidding Contingency	-
6. Construction Contingency	319,196
7. Construction Manager Fee	-
8. Other (please specify)	-
Subtotal	\$ 2,876,153
Related Project Costs	
1. Major Moveable Equipment	\$ -
2. Furnishings, Fixtures & Other Equip.	431,638
3. Architectural/Engineering Fees	133,100
4. Land Acquisition	-
5. Purchase of Buildings	-
6. Administrative Expenses & Permits	-
7. Debt Financing Expenses (see below)	120,750
8. Debt Service Reserve Fund	-
9. Working Capital	-
10. Other (please specify)	210,368
Subtotal	\$ 895,856
Total Project Costs	\$ 3,772,009

Debt Financing Expenses	
1. Capital Interest	\$ 78,750
2. Bond Discount or Placement Fee	35,000
3. Misc. Financing Fees & Exp. (issuance costs)	7,000
4. Other	-
Subtotal	\$ 120,750
Less Interest Earnings on Funds	
1. Debt Service Reserve Funds	\$ -
2. Capitalized Interest Account	-
3. Construction Fund	-
4. Other	-
Subtotal	\$ -
Total Debt Financing Expenses	\$ 120,750
feeds to line 7 above	



NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**

TABLE 2
DEBT FINANCING ARRANGEMENT, SOURCES & USES OF FUNDS

Sources of Funds			
1. Financing Instrument	Mortgage		
a. Interest Rate	4.5%		
b. Loan Period	Jan 2018 To: Dec 2037		
c. Amount Financed		\$	3,772,009
2. Equity Contribution			-
3. Other Sources			
a. Working Capital			-
b. Fundraising			-
c. Grants			-
d. Other			-
Total Required Funds		\$	3,772,009

Uses of Funds			
<u>Project Costs (feeds from Table 1)</u>			
1. New Construction		\$	-
2. Renovation			2,494,957
3. Site Work			62,000
4. Fixed Equipment			-
5. Design/Bidding Contingency			-
6. Construction Contingency			319,196
7. Construction Manager Fee			-
8. Major Moveable Equipment			-
9. Furnishings, Fixtures & Other Equip.			431,638
10. Architectural/Engineering Fees			133,100
11. Land Acquisition			-
12. Purchase of Buildings			-
13. Administrative Expenses & Permits			-
14. Debt Financing Expenses			120,750
15. Debt Service Reserve Fund			-
16. Working Capital			-
17. Other (please specify)			210,368
Total Uses of Funds		\$	3,772,009

Total sources should equal total uses of funds.

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 3A
INCOME STATEMENT
WITHOUT PROJECT

	Latest Actual	Budget	Proposed	Proposed	Proposed
		1	Year 1	Year 2	Year 3
			2	3	4
Revenues					
Inpatient Care Revenue	\$ -	\$ -	\$ -	\$ -	\$ -
Outpatient Care Revenue	-	-	-	-	-
Chronic/Rehab Revenue	-	-	-	-	-
SNF/ECF Patient Care Revenue	-	-	-	-	-
Swing Beds Patient Care Revenue	-	-	-	-	-
Gross Patient Care Revenue	\$ -	\$ -	\$ -	\$ -	\$ -
Disproportionate Share Payments	\$ -	\$ -	\$ -	\$ -	\$ -
Free Care & Bad Debt	-	-	-	-	-
Deductions from Revenue	-	-	-	-	-
Net Patient Care Revenue	\$ -	\$ -	\$ -	\$ -	\$ -
Other Operating Revenue					
Total Operating Revenue	\$ -	\$ -	\$ -	\$ -	\$ -
Operating Expense					
Salaries (Non-MD)	\$ -	\$ -	\$ -	\$ -	\$ -
Frings Benefits (Non-MD)	-	-	-	-	-
Physician Fees/Salaries/Contracts/Fring	-	-	-	-	-
Health Care Provider Tax					
Depreciation/Amortization					
Interest					
Other Operating Expense					
Total Operating Expense	\$ -	\$ -	\$ -	\$ -	\$ -
Net Operating Income (Loss)	\$ -	\$ -	\$ -	\$ -	\$ -
Non-Operating Revenue					
Excess (Deficit) of Rev Over Exp	\$ -	\$ -	\$ -	\$ -	\$ -

Latest actual numbers should tie to the hospital budget process.

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 3B
INCOME STATEMENT
PROJECT ONLY

	Latest Actual	Budget	Proposed	Proposed	Proposed
	0	1	Year 1	Year 2	Year 3
			2	3	4
Revenues					
Inpatient Care Revenue	N/A	\$ -	\$ -	\$ -	\$ -
Outpatient Care Revenue	N/A	-	-	-	-
Chronic/Rehab Revenue	N/A	-	-	-	-
SNF/ECF Patient Care Revenue	N/A	-	-	-	-
Swing Beds Patient Care Revenue	N/A	-	-	-	-
Gross Patient Care Revenue		\$ -	\$ -	\$ -	\$ -
Disproportionate Share Payments	N/A	\$ -	\$ -	\$ -	\$ -
Free Care & Bad Debt	N/A	-	-	-	-
Deductions from Revenue	N/A	-	-	-	-
Net Patient Care Revenue	N/A	\$ -	\$ -	\$ -	\$ -
Other Operating Revenue	N/A	-	-	-	-
Total Operating Revenue	N/A	\$ -	\$ -	\$ -	\$ -
Operating Expense					
Salaries (Non-MD)	N/A	\$ -	\$ -	\$ -	\$ -
Frings Benefits (Non-MD)	N/A	-	-	-	-
Physician Fees/Salaries/Contracts/Fring	N/A	-	-	-	-
Health Care Provider Tax	N/A	-	-	-	-
Depreciation/Amortization	N/A	-	-	-	-
Interest	N/A	-	-	-	-
Other Operating Expense	N/A	-	-	-	-
Total Operating Expense	N/A	\$ -	\$ -	\$ -	\$ -
Net Operating Income (Loss)	N/A	\$ -	\$ -	\$ -	\$ -
Non-Operating Revenue	N/A	-	-	-	-
Excess (Deficit) of Rev Over Exp	N/A	\$ -	\$ -	\$ -	\$ -

Latest actual numbers should tie to the hospital budget process.

NOTE: This table requires no 'fill-in' as it is populated automatically from Tables 3A & 3B.

**The Pines at Rutland
Renovation Project
TABLE 3C
INCOME STATEMENT
WITH PROJECT**

	Latest Actual	Budget	Proposed Year 1	Proposed Year 2	Proposed Year 3
	0	1	2	3	4
Revenues					
Inpatient Care Revenue	#VALUE!	\$ -	\$ -	\$ -	\$ -
Outpatient Care Revenue	#VALUE!	-	-	-	-
Chronic/Rehab Revenue	#VALUE!	-	-	-	-
SNF/ECF Patient Care Revenue	#VALUE!	-	-	-	-
Swing Beds Patient Care Revenue	#VALUE!	-	-	-	-
Gross Patient Care Revenue	#VALUE!	\$ -	\$ -	\$ -	\$ -
Disproportionate Share Payments	#VALUE!	\$ -	\$ -	\$ -	\$ -
Free Care & Bad Debt	#VALUE!	-	-	-	-
Deductions from Revenue	#VALUE!	-	-	-	-
Net Patient Care Revenue	#VALUE!	\$ -	\$ -	\$ -	\$ -
Other Operating Revenue	#VALUE!	-	-	-	-
Total Operating Revenue	#VALUE!	\$ -	\$ -	\$ -	\$ -
Operating Expense					
Salaries (Non-MD)	#VALUE!	\$ -	\$ -	\$ -	\$ -
Fringe Benefits (Non-MD)	#VALUE!	-	-	-	-
Physician Fees/Salaries/Contracts/Fringe	#VALUE!	-	-	-	-
Health Care Provider Tax	#VALUE!	-	-	-	-
Depreciation/Amortization	#VALUE!	-	-	-	-
Interest	#VALUE!	-	-	-	-
Other Operating Expense	#VALUE!	-	-	-	-
Total Operating Expense	#VALUE!	\$ -	\$ -	\$ -	\$ -
Net Operating Income (Loss)	#VALUE!	\$ -	\$ -	\$ -	\$ -
Non-Operating Revenue	#VALUE!	-	-	-	-
Excess (Deficit) of Rev Over Exp	#VALUE!	\$ -	\$ -	\$ -	\$ -

Latest actual numbers should tie to the hospital budget process.

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 4A
BALANCE SHEET - UNRESTRICTED FUNDS
WITHOUT PROJECT

ASSETS	Latest Actual	Budget 1	Proposed Year 1 2	Proposed Year 2 3	Proposed Year 3 4
Current Assets					
Cash & Investments	\$ -	\$ -	\$ -	\$ -	\$ -
Patient Accounts Receivable, Gross					
Less: Allowance for Uncollectable Accts.					
Due from Third Parties					
Other Current Assets					
Total Current Assets	\$ -	\$ -	\$ -	\$ -	\$ -
Board Designated Assets					
Funded Depreciation	\$ -	\$ -	\$ -	\$ -	\$ -
Escrowed Bond Funds					
Other					
Total Board Designated Assets	\$ -	\$ -	\$ -	\$ -	\$ -
Property, Plant & Equipment					
Land, Buildings & Improvements	\$ -	\$ -	\$ -	\$ -	\$ -
Fixed Equipment					
Major Moveable Equipment					
Construction in Progress					
Total Property, Plant & Equipment	\$ -	\$ -	\$ -	\$ -	\$ -
Less: Accumulated Depreciation					
Land, Buildings & Improvements	\$ -	\$ -	\$ -	\$ -	\$ -
Fixed Equipment					
Major Moveable Equipment					
Total Accumulated Depreciation	\$ -	\$ -	\$ -	\$ -	\$ -
Total Net Property, Plant & Equipment	\$ -	\$ -	\$ -	\$ -	\$ -
Other Long-Term Assets	\$ -	\$ -	\$ -	\$ -	\$ -
TOTAL ASSETS	\$ -	\$ -	\$ -	\$ -	\$ -
LIABILITIES AND FUND BALANCE					
Current Liabilities					
Accounts Payable	\$ -	\$ -	\$ -	\$ -	\$ -
Salaries, Wages & Payroll Taxes Payable					
Estimated Third-Party Settlements					
Other Current Liabilities					
Current Portion of Long-Term Debt					
Total Current Liabilities	\$ -	\$ -	\$ -	\$ -	\$ -
Long-Term Debt					
Bonds & Mortgages Payable	\$ -	\$ -	\$ -	\$ -	\$ -
Capital Lease Obligations					
Other Long-Term Debt					
Total Long-Term Debt	\$ -	\$ -	\$ -	\$ -	\$ -
Total Other Non-Current Liabilities	\$ -	\$ -	\$ -	\$ -	\$ -
Total Liabilities	\$ -	\$ -	\$ -	\$ -	\$ -
Fund Balance	\$ -	\$ -	\$ -	\$ -	\$ -
TOTAL LIABILITIES & FUND BALANCE	\$ -	\$ -	\$ -	\$ -	\$ -

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 4B
BALANCE SHEET - UNRESTRICTED FUNDS
PROJECT ONLY

ASSETS	Latest Actual 0	Budget 1	Proposed Year 1 2	Proposed Year 2 3	Proposed Year 3 4
Current Assets					
Cash & Investments	N/A	\$ -	\$ -	\$ -	\$ -
Patient Accounts Receivable, Gross	N/A	-	-	-	-
Less: Allowance for Uncollectable Accts.	N/A	-	-	-	-
Due from Third Parties	N/A	-	-	-	-
Other Current Assets	N/A	-	-	-	-
Total Current Assets	N/A	\$ -	\$ -	\$ -	\$ -
Board Designated Assets					
Funded Depreciation	N/A	\$ -	\$ -	\$ -	\$ -
Escrowed Bond Funds	N/A	-	-	-	-
Other	N/A	-	-	-	-
Total Board Designated Assets	N/A	\$ -	\$ -	\$ -	\$ -
Property, Plant & Equipment					
Land, Buildings & Improvements	N/A	\$ -	\$ -	\$ -	\$ -
Fixed Equipment	N/A	-	-	-	-
Major Moveable Equipment	N/A	-	-	-	-
Construction in Progress	N/A	-	-	-	-
Total Property, Plant & Equipment	N/A	\$ -	\$ -	\$ -	\$ -
Less: Accumulated Depreciation					
Land, Buildings & Improvements	N/A	\$ -	\$ -	\$ -	\$ -
Fixed Equipment	N/A	-	-	-	-
Major Moveable Equipment	N/A	-	-	-	-
Total Accumulated Depreciation	N/A	\$ -	\$ -	\$ -	\$ -
Total Net Property, Plant & Equipment	N/A	\$ -	\$ -	\$ -	\$ -
Other Long-Term Assets	N/A	\$ -	\$ -	\$ -	\$ -
TOTAL ASSETS	N/A	\$ -	\$ -	\$ -	\$ -
LIABILITIES AND FUND BALANCE					
Current Liabilities					
Accounts Payable	N/A	\$ -	\$ -	\$ -	\$ -
Salaries, Wages & Payroll Taxes Payable	N/A	-	-	-	-
Estimated Third-Party Settlements	N/A	-	-	-	-
Other Current Liabilities	N/A	-	-	-	-
Current Portion of Long-Term Debt	N/A	-	-	-	-
Total Current Liabilities	N/A	\$ -	\$ -	\$ -	\$ -
Long-Term Debt					
Bonds & Mortgages Payable	N/A	\$ -	\$ -	\$ -	\$ -
Capital Lease Obligations	N/A	-	-	-	-
Other Long-Term Debt	N/A	-	-	-	-
Total Long-Term Debt	N/A	\$ -	\$ -	\$ -	\$ -
Total Other Non-Current Liabilities	N/A	\$ -	\$ -	\$ -	\$ -
Total Liabilities	N/A	\$ -	\$ -	\$ -	\$ -
Fund Balance	N/A	\$ -	\$ -	\$ -	\$ -
TOTAL LIABILITIES & FUND BALANCE	N/A	\$ -	\$ -	\$ -	\$ -

NOTE: This table requires no 'fill-in' as it is populated automatically from Tables 4A & 4B.

**The Pines at Rutland
Renovation Project**
TABLE 4C
BALANCE SHEET - UNRESTRICTED FUNDS
WITH PROJECT

ASSETS	Latest Actual 0	Budget 1	Proposed Year 1 2	Proposed Year 2 3	Proposed Year 3 4
Current Assets					
Cash & Investments	#VALUE!	\$ -	\$ -	\$ -	\$ -
Patient Accounts Receivable, Gross	#VALUE!	-	-	-	-
Less: Allowance for Uncollectable Accts.	#VALUE!	-	-	-	-
Due from Third Parties	#VALUE!	-	-	-	-
Other Current Assets	#VALUE!	-	-	-	-
Total Current Assets	#VALUE!	\$ -	\$ -	\$ -	\$ -
Board Designated Assets					
Funded Depreciation	#VALUE!	\$ -	\$ -	\$ -	\$ -
Escrowed Bond Funds	#VALUE!	-	-	-	-
Other	#VALUE!	-	-	-	-
Total Board Designated Assets	#VALUE!	\$ -	\$ -	\$ -	\$ -
Property, Plant & Equipment					
Land, Buildings & Improvements	#VALUE!	\$ -	\$ -	\$ -	\$ -
Fixed Equipment	#VALUE!	-	-	-	-
Major Moveable Equipment	#VALUE!	-	-	-	-
Construction in Progress	#VALUE!	-	-	-	-
Total Property, Plant & Equipment	#VALUE!	\$ -	\$ -	\$ -	\$ -
Less: Accumulated Depreciation					
Land, Buildings & Improvements	#VALUE!	\$ -	\$ -	\$ -	\$ -
Fixed Equipment	#VALUE!	-	-	-	-
Major Moveable Equipment	#VALUE!	-	-	-	-
Total Accumulated Depreciation	#VALUE!	\$ -	\$ -	\$ -	\$ -
Total Net Property, Plant & Equipment	#VALUE!	\$ -	\$ -	\$ -	\$ -
Other Long-Term Assets	#VALUE!	\$ -	\$ -	\$ -	\$ -
TOTAL ASSETS	#VALUE!	\$ -	\$ -	\$ -	\$ -
LIABILITIES AND FUND BALANCE					
Current Liabilities					
Accounts Payable	#VALUE!	\$ -	\$ -	\$ -	\$ -
Salaries, Wages & Payroll Taxes Payable	#VALUE!	-	-	-	-
Estimated Third-Party Settlements	#VALUE!	-	-	-	-
Other Current Liabilities	#VALUE!	-	-	-	-
Current Portion of Long-Term Debt	#VALUE!	-	-	-	-
Total Current Liabilities	#VALUE!	\$ -	\$ -	\$ -	\$ -
Long-Term Debt					
Bonds & Mortgages Payable	#VALUE!	\$ -	\$ -	\$ -	\$ -
Capital Lease Obligations	#VALUE!	-	-	-	-
Other Long-Term Debt	#VALUE!	-	-	-	-
Total Long-Term Debt	#VALUE!	\$ -	\$ -	\$ -	\$ -
Total Other Non-Current Liabilities	#VALUE!	\$ -	\$ -	\$ -	\$ -
Total Liabilities	#VALUE!	\$ -	\$ -	\$ -	\$ -
Fund Balance	#VALUE!	\$ -	\$ -	\$ -	\$ -
TOTAL LIABILITIES & FUND BALANCE	#VALUE!	\$ -	\$ -	\$ -	\$ -

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 5A
STATEMENT OF CASH FLOWS
WITHOUT PROJECT

	Latest Actual 2015	Budget 2016	Proposed Year 1 2017	Proposed Year 2 2018	Proposed Year 3 2019
Beginning Cash	\$ -	\$ -	\$ -	\$ -	\$ -
Operations					
Excess revenues over expenses	-	-	-	-	-
Depreciation / Amortization	-	-	-	-	-
(Increase)/Decrease Patient A/R	-	-	-	-	-
(Increase)/Decrease Other Changes	-	-	-	-	-
Subtotal Cash from Operations	\$ -	\$ -	\$ -	\$ -	\$ -
Investing Activity					
Capital Spending					
Capital					
Capitalized Interest					
Change in accum depr less depreciation	-	-	-	-	-
(Increase) Decrease in capital assets	-	-	-	-	-
Subtotal Capital Spending	\$ -	\$ -	\$ -	\$ -	\$ -
(Increase) / Decrease					
Funded Depreciation	-	-	-	-	-
Other LT assets & escrowed bonds & other	-	-	-	-	-
Subtotal (Increase) / Decrease	\$ -	\$ -	\$ -	\$ -	\$ -
Subtotal Cash from Investing Activity	\$ -	\$ -	\$ -	\$ -	\$ -
Financing Activity					
Debt (increase) decrease					
Bonds & mortgages	-	-	-	-	-
Repayment	-	-	-	-	-
Capital lease & other long term debt	-	-	-	-	-
Subtotal Cash from Financing Activity	\$ -	\$ -	\$ -	\$ -	\$ -
Other Changes (please describe)					
Manual adjustment	-	-	-	-	-
Other	-	-	-	-	-
Change in fund balance less net income	-	-	-	-	-
Other	-	-	-	-	-
Subtotal Other Changes	\$ -	\$ -	\$ -	\$ -	\$ -
Net Increase (Decrease) in Cash	\$ -	\$ -	\$ -	\$ -	\$ -
Ending Cash	\$ -	\$ -	\$ -	\$ -	\$ -

NOTE: This table requires no 'fill-in' as it automatically populates from Tables 4B, 5A and 5B.

**The Pines at Rutland
Renovation Project**
TABLE 5B
STATEMENT OF CASH FLOWS
PROJECT ONLY

	Latest Actual 2015	Budget 2016	Proposed Year 1 2017	Proposed Year 2 2018	Proposed Year 3 2019
Beginning Cash	N/A	N/A	\$ -	\$ -	\$ -
Operations					
Excess revenues over expenses	N/A	-	-	-	-
Depreciation / Amortization	N/A	-	-	-	-
(Increase)/Decrease Patient A/R	N/A	#VALUE!	-	-	-
(Increase)/Decrease Other Changes	N/A	#VALUE!	-	-	-
Subtotal Cash from Operations	N/A	#VALUE!	\$ -	\$ -	\$ -
Investing Activity					
Capital Spending					
Capital	N/A				
Capitalized Interest	N/A				
Change in accum depr less depreciation	N/A	#VALUE!	-	-	-
(Increase) Decrease in capital assets	N/A	#VALUE!	-	-	-
Subtotal Capital Spending	N/A	#VALUE!	\$ -	\$ -	\$ -
(Increase) / Decrease					
Funded Depreciation	N/A	#VALUE!	-	-	-
Other LT assets & escrowed bonds & other	N/A	#VALUE!	-	-	-
Subtotal (Increase) / Decrease	N/A	#VALUE!	\$ -	\$ -	\$ -
Subtotal Cash from Investing Activity	N/A	#VALUE!	\$ -	\$ -	\$ -
Financing Activity					
Debt (increase) decrease					
Bonds & mortgages	N/A	#VALUE!	-	-	-
Repayment	N/A				
Capital lease & other long term debt	N/A	#VALUE!	-	-	-
Subtotal Cash from Financing Activity	N/A	#VALUE!	\$ -	\$ -	\$ -
Other Changes (please describe)					
Manual adjustment	N/A				
Other	N/A				
Change in fund balance less net income	N/A	#VALUE!	-	-	-
Other	N/A				
Subtotal Other Changes	N/A	#VALUE!	\$ -	\$ -	\$ -
Net Increase (Decrease) in Cash	N/A	#VALUE!	\$ -	\$ -	\$ -
Ending Cash	N/A	#VALUE!	\$ -	\$ -	\$ -

NOTE: This table requires no 'fill-in' as it is populated automatically from Tables 5A & 5B.

**The Pines at Rutland
Renovation Project**
TABLE 5C
STATEMENT OF CASH FLOWS
WITH PROJECT

	Latest Actual 2015	Budget 2016	Proposed Year 1 2017	Proposed Year 2 2018	Proposed Year 3 2019
Beginning Cash	#VALUE!	#VALUE!	\$ -	\$ -	\$ -
Operations					
Excess revenues over expenses	#VALUE!	-	-	-	-
Depreciation / Amortization	#VALUE!	-	-	-	-
(Increase)/Decrease Patient A/R	#VALUE!	#VALUE!	-	-	-
(Increase)/Decrease Other Changes	#VALUE!	#VALUE!	-	-	-
Subtotal Cash from Operations	#VALUE!	#VALUE!	\$ -	\$ -	\$ -
Investing Activity					
Capital Spending					
Capital	#VALUE!	-	-	-	-
Capitalized Interest	#VALUE!	-	-	-	-
Change in accum depr less depreciation	#VALUE!	#VALUE!	-	-	-
(Increase) Decrease in capital assets	#VALUE!	#VALUE!	-	-	-
Subtotal Capital Spending	#VALUE!	#VALUE!	\$ -	\$ -	\$ -
(Increase) / Decrease					
Funded Depreciation	#VALUE!	#VALUE!	-	-	-
Other LT assets & escrowed bonds & other	#VALUE!	#VALUE!	-	-	-
Subtotal (Increase) / Decrease	#VALUE!	#VALUE!	\$ -	\$ -	\$ -
Subtotal Cash from Investing Activity	#VALUE!	#VALUE!	\$ -	\$ -	\$ -
Financing Activity					
Debt (increase) decrease					
Bonds & mortgages	#VALUE!	#VALUE!	-	-	-
Repayment	#VALUE!	-	-	-	-
Capital lease & other long term debt	#VALUE!	#VALUE!	-	-	-
Subtotal Cash from Financing Activity	#VALUE!	#VALUE!	\$ -	\$ -	\$ -
Other Changes (please describe)					
Manual adjustment	#VALUE!	-	-	-	-
Other	#VALUE!	-	-	-	-
Change in fund balance less net income	#VALUE!	#VALUE!	-	-	-
Other	#VALUE!	-	-	-	-
Subtotal Other Changes	#VALUE!	#VALUE!	\$ -	\$ -	\$ -
Net Increase (Decrease) in Cash	#VALUE!	#VALUE!	\$ -	\$ -	\$ -
Ending Cash	#VALUE!	#VALUE!	\$ -	\$ -	\$ -

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 6A
REVENUE SOURCE PROJECTIONS
WITHOUT PROJECT

	Latest Actual 2015	% of Total	Budget 2016	% of Total	Proposed Year 1 2017	% of Total	Proposed Year 2 2018	% of Total	Proposed Year 3 2019	% of Total
Gross Inpatient Revenue										
Medicare	\$ 3,432,851	22.7%	\$ 3,501,508	22.7%	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Medicaid	10,062,938	66.5%	10,264,197	66.5%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Commercial	235,540	1.6%	240,251	1.6%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Self Pay	1,062,485	7.0%	1,083,735	7.0%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Free Care / Bad Debt	(39,636)	-0.3%	(40,429)	-0.3%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Other	382,802	2.5%	390,458	2.5%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
	\$ 15,136,980	100.0%	\$ 15,439,720	100.0%	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Gross Outpatient Revenue										
Medicare	\$ -	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Medicaid	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Commercial	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Self Pay	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Free Care / Bad Debt	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Other	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Gross Other Revenue										
Medicare	\$ 269,485	71.7%	\$ 274,875	71.7%	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Medicaid	-	0.0%	-	0.0%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Commercial	105,383	28.0%	107,491	28.0%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Self Pay	909	0.2%	927	0.2%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Free Care / Bad Debt	-	0.0%	-	0.0%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Other	-	0.0%	-	0.0%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
	\$ 375,777	100.0%	\$ 383,293	100.0%	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Gross Patient Revenue										
Medicare	\$ 3,702,336	23.9%	\$ 3,776,383	23.9%	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Medicaid	10,062,938	64.9%	10,264,197	64.9%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Commercial	340,923	2.2%	347,741	2.2%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Self Pay	1,063,394	6.9%	1,084,662	6.9%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Free Care / Bad Debt	(39,636)	-0.3%	(40,429)	-0.3%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Other	382,802	2.5%	390,458	2.5%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
	\$ 15,512,757	100.0%	\$ 15,823,012	100.0%	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Deductions from Revenue										
Medicare	\$ (1,052,196)	-60.3%	\$ (1,073,240)	-60.3%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Medicaid	2,830,128	162.1%	2,886,731	162.1%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Commercial	8,594	0.5%	8,766	0.5%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Self Pay	8,285	0.5%	8,451	0.5%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Free Care / Bad Debt	-	0.0%	-	0.0%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Other	(48,768)	-2.8%	(49,743)	-2.8%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
	\$ 1,746,043	100.0%	\$ 1,780,964	100.0%	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Net Patient Revenue										
Medicare	\$ 4,754,532	34.5%	\$ 4,849,623	34.5%	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Medicaid	7,232,810	52.5%	7,377,466	52.5%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Commercial	332,329	2.4%	338,976	2.4%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Self Pay	1,055,109	7.7%	1,076,211	7.7%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Free Care / Bad Debt	(39,636)	-0.3%	(40,429)	-0.3%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Other	431,570	3.1%	440,201	3.1%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
DSP*	-	0.0%	-	0.0%	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
	\$ 13,766,714	100.0%	\$ 14,042,048	100.0%	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!

Latest actual numbers should tie to the hospital budget process.

* Disproportionate share payments

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 6B
REVENUE SOURCE PROJECTIONS
PROJECT ONLY

	Latest Actual 2015	% of Total	Budget 2016	% of Total	Proposed Year 1 2017	% of Total	Proposed Year 2 2018	% of Total	Proposed Year 3 2019	% of Total
Gross Inpatient Revenue										
Medicare	N/A		\$ -	#DIV/0!	\$ 2,928,030	18.3%	\$ 3,577,000	21.1%	\$ 3,814,980	21.9%
Medicaid	N/A		\$ -	#DIV/0!	11,154,400	69.7%	11,160,240	65.7%	11,151,480	64.0%
Commercial	N/A		\$ -	#DIV/0!	557,720	3.5%	572,320	3.4%	586,920	3.4%
Self Pay	N/A		\$ -	#DIV/0!	1,115,440	7.0%	1,430,800	8.4%	1,614,030	9.3%
Free Care / Bad Debt	N/A		\$ -	#DIV/0!	(41,237)	-0.3%	(42,062)	-0.2%	(42,903)	-0.2%
Other	N/A		\$ -	#DIV/0!	278,860	1.7%	286,160	1.7%	293,460	1.7%
	N/A		\$ -	#DIV/0!	\$ 15,993,213	100.0%	\$ 16,984,458	100.0%	\$ 17,417,967	100.0%
Gross Outpatient Revenue										
Medicare	N/A		\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Medicaid	N/A		\$ -	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Commercial	N/A		\$ -	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Self Pay	N/A		\$ -	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Free Care / Bad Debt	N/A		\$ -	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Other	N/A		\$ -	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
	N/A		\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Gross Other Revenue										
Medicare	N/A		\$ -	#DIV/0!	280,372	71.7%	\$ 285,980	71.7%	\$ 291,699	71.7%
Medicaid	N/A		\$ -	#DIV/0!	-	0.0%	\$ -	0.0%	\$ -	0.0%
Commercial	N/A		\$ -	#DIV/0!	109,640	28.0%	\$ 111,833	28.0%	\$ 114,070	28.0%
Self Pay	N/A		\$ -	#DIV/0!	946	0.2%	\$ 965	0.2%	\$ 984	0.2%
Free Care / Bad Debt	N/A		\$ -	#DIV/0!	-	0.0%	-	0.0%	-	0.0%
Other	N/A		\$ -	#DIV/0!	-	0.0%	-	0.0%	-	0.0%
	N/A		\$ -	#DIV/0!	\$ 390,958	100.0%	\$ 398,778	100.0%	\$ 406,753	100.0%
Gross Patient Revenue										
Medicare	N/A		\$ -	#DIV/0!	\$ 3,208,402	19.6%	\$ 3,862,980	22.2%	\$ 4,106,679	23.0%
Medicaid	N/A		\$ -	#DIV/0!	11,154,400	68.1%	11,160,240	64.2%	11,151,480	62.6%
Commercial	N/A		\$ -	#DIV/0!	667,360	4.1%	684,153	3.9%	700,990	3.9%
Self Pay	N/A		\$ -	#DIV/0!	1,116,386	6.8%	1,431,765	8.2%	1,615,014	9.1%
Free Care / Bad Debt	N/A		\$ -	#DIV/0!	(41,237)	-0.3%	(42,062)	-0.2%	(42,903)	-0.2%
Other	N/A		\$ -	#DIV/0!	278,860	1.7%	286,160	1.6%	293,460	1.6%
	N/A		\$ -	#DIV/0!	\$ 16,384,171	100.0%	\$ 17,383,236	100.0%	\$ 17,824,720	100.0%
Deductions from Revenue										
Medicare	N/A		\$ -	#DIV/0!	\$ (1,406,283)	-67.4%	\$ (1,686,093)	-110.9%	\$ (1,768,107)	-120.0%
Medicaid	N/A		\$ -	#DIV/0!	3,566,526	171.0%	3,277,291	215.6%	3,309,795	224.6%
Commercial	N/A		\$ -	#DIV/0!	(49,873)	-2.4%	(47,428)	-3.1%	(45,223)	-3.1%
Self Pay	N/A		\$ -	#DIV/0!	-	0.0%	-	0.0%	-	0.0%
Free Care / Bad Debt	N/A		\$ -	#DIV/0!	-	0.0%	-	0.0%	-	0.0%
Other	N/A		\$ -	#DIV/0!	(24,937)	-1.2%	(23,710)	-1.0%	(22,608)	-1.5%
	N/A		\$ -	#DIV/0!	\$ 2,085,434	100.0%	\$ 1,520,060	100.0%	\$ 1,473,857	100.0%
Net Patient Revenue										
Medicare	N/A		\$ -	#DIV/0!	\$ 4,614,685	32.3%	\$ 5,549,072	35.0%	\$ 5,874,786	35.9%
Medicaid	N/A		\$ -	#DIV/0!	7,587,874	53.1%	7,882,949	49.7%	7,841,685	48.0%
Commercial	N/A		\$ -	#DIV/0!	717,233	5.0%	731,581	4.6%	746,213	4.6%
Self Pay	N/A		\$ -	#DIV/0!	1,116,386	7.8%	1,431,765	9.0%	1,615,014	9.9%
Free Care / Bad Debt	N/A		\$ -	#DIV/0!	(41,237)	-0.3%	(42,062)	-0.3%	(42,903)	-0.3%
Other	N/A		\$ -	#DIV/0!	303,797	2.1%	309,870	2.0%	316,068	1.9%
DSP*	N/A		N/A		N/A		N/A		N/A	
			\$ -	#DIV/0!	\$ 14,298,737	100.0%	\$ 15,863,175	100.0%	\$ 16,350,863	100.0%

Latest actual numbers should tie to the hospital budget process.

* Disproportionate share payments

11/9/2016

Health Care Administration

Updated Final CON Tables.xls, Table 6B

NOTE: This table requires no 'fill-in' as it will automatically populate from Tables 6A & 6B.

**The Pines at Rutland
Renovation Project**
TABLE 6C
REVENUE SOURCE PROJECTIONS
WITH PROJECT

	Latest Actual 2015	% of Total	Budget 2016	% of Total	Proposed Year 1 2017	% of Total	Proposed Year 2 2018	% of Total	Proposed Year 3 2019	% of Total
Gross Inpatient Revenue										
Medicare	\$ 3,432,851	22.7%	\$ 3,501,508	22.7%	\$ 2,928,030	18.3%	\$ 3,577,000	21.1%	\$ 3,814,980	21.9%
Medicaid	10,062,938	66.5%	10,264,197	66.5%	11,154,400	69.7%	11,160,240	65.7%	11,151,480	64.0%
Commercial	235,540	1.6%	240,251	1.6%	557,720	3.5%	572,320	3.4%	586,920	3.4%
Self Pay	1,062,485	7.0%	1,083,735	7.0%	1,115,440	7.0%	1,430,800	8.4%	1,614,030	9.3%
Free Care / Bad Debt	(39,636)	-0.3%	(40,429)	-0.3%	(41,237)	-0.3%	(42,062)	-0.2%	(42,903)	-0.2%
Other	382,802	2.5%	390,458	2.5%	278,860	1.7%	286,160	1.7%	293,460	1.7%
	\$ 15,136,980	100.0%	\$ 15,439,720	100.0%	\$ 15,993,213	100.0%	\$ 16,984,458	100.0%	\$ 17,417,967	100.0%
Gross Outpatient Revenue										
Medicare	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Medicaid	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Commercial	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Self Pay	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Free Care / Bad Debt	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
Other	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!	-	#DIV/0!
	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!	\$ -	#DIV/0!
Gross Other Revenue										
Medicare	\$ 269,485	71.7%	\$ 274,875	71.7%	\$ 280,372	71.7%	\$ 285,980	71.7%	\$ 291,699	71.7%
Medicaid	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%
Commercial	105,383	28.0%	107,491	28.0%	109,640	28.0%	111,833	28.0%	114,070	28.0%
Self Pay	909	0.2%	927	0.2%	946	0.2%	965	0.2%	984	0.2%
Free Care / Bad Debt	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%
Other	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%
	\$ 375,777	100.0%	\$ 383,293	100.0%	\$ 390,958	100.0%	\$ 398,778	100.0%	\$ 406,753	100.0%
Gross Patient Revenue										
Medicare	\$ 3,702,336	23.9%	\$ 3,776,383	23.9%	\$ 3,208,402	19.6%	\$ 3,862,980	22.2%	\$ 4,106,679	23.0%
Medicaid	10,062,938	64.9%	10,264,197	64.9%	11,154,400	68.1%	11,160,240	64.2%	11,151,480	62.6%
Commercial	340,923	2.2%	347,741	2.2%	667,360	4.1%	684,153	3.9%	700,990	3.9%
Self Pay	1,063,394	6.9%	1,084,662	6.9%	1,116,386	6.8%	1,431,765	8.2%	1,615,014	9.1%
Free Care / Bad Debt	(39,636)	-0.3%	(40,429)	-0.3%	(41,237)	-0.3%	(42,062)	-0.2%	(42,903)	-0.2%
Other	382,802	2.5%	390,458	2.5%	278,860	1.7%	286,160	1.6%	293,460	1.6%
	\$ 15,512,757	100.0%	\$ 15,823,012	100.0%	\$ 16,384,171	100.0%	\$ 17,383,236	100.0%	\$ 17,824,720	100.0%
Deductions from Revenue										
Medicare	\$ (1,052,196)	-60.3%	\$ (1,073,240)	-60.3%	\$ (1,406,283)	-67.4%	\$ (1,686,093)	-110.9%	\$ (1,768,107)	-120.0%
Medicaid	2,830,128	162.1%	2,886,731	162.1%	3,566,526	171.0%	3,277,291	215.6%	3,309,795	224.6%
Commercial	8,594	0.5%	8,766	0.5%	(49,873)	-2.4%	(47,428)	-3.1%	(45,223)	-3.1%
Self Pay	8,285	0.5%	8,451	0.5%	-	0.0%	-	0.0%	-	0.0%
Free Care / Bad Debt	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%
Other	(48,768)	-2.8%	(49,743)	-2.8%	(24,937)	-1.2%	(23,710)	-1.6%	(22,608)	-1.5%
	\$ 1,746,043	100.0%	\$ 1,780,964	100.0%	\$ 2,085,434	100.0%	\$ 1,520,060	100.0%	\$ 1,473,857	100.0%
Net Patient Revenue										
Medicare	\$ 4,754,532	34.5%	\$ 4,849,623	34.5%	\$ 4,614,685	32.3%	\$ 5,549,072	35.0%	\$ 5,874,786	35.9%
Medicaid	7,232,810	52.5%	7,377,466	52.5%	7,587,874	53.1%	7,882,949	49.7%	7,841,685	48.0%
Commercial	332,329	2.4%	338,976	2.4%	717,233	5.0%	731,581	4.6%	746,213	4.6%
Self Pay	1,055,109	7.7%	1,076,211	7.7%	1,116,386	7.8%	1,431,765	9.0%	1,615,014	9.9%
Free Care / Bad Debt	(39,636)	-0.3%	(40,429)	-0.3%	(41,237)	-0.3%	(42,062)	-0.3%	(42,903)	-0.3%
Other	431,570	3.1%	440,201	3.1%	303,797	2.1%	309,870	2.0%	316,068	1.9%
DSP*	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%
	\$ 13,766,714	100.0%	\$ 14,042,048	100.0%	\$ 14,298,737	100.0%	\$ 15,863,175	100.0%	\$ 16,350,863	100.0%

Latest actual numbers should tie to the hospital budget process.

* Disproportionate share payments

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 7
UTILIZATION PROJECTIONS
TOTALS

A: WITHOUT PROJECT					
	Latest Actual 2015	Budget 2016	Proposed Year 1 2017	Proposed Year 2 2018	Proposed Year 3 2019
Inpatient Utilization					
Staffed Beds	125	125			
Admissions	459	459			
Patient Days	41,895	41,895			
Average Length of Stay	91.27	91.27			
Outpatient Utilization					
All Outpatient Visits					
OR Procedures					
Observation Units					
Physician Office Visits					
Ancillary					
All OR Procedures					
Emergency Room Visits					
Adjusted Statistics					
Adjusted Admissions					
Adjusted Patient Days					

B: PROJECT ONLY					
	Latest Actual 2015	Budget 2016	Proposed Year 1 2017	Proposed Year 2 2018	Proposed Year 3 2019
Inpatient Utilization					
Staffed Beds	N/A	-	125	125	125
Admissions	N/A	-	430	495	509
Patient Days	N/A	-	41,975	43,435	43,435
Average Length of Stay	N/A	-	97.56	87.68	85.32
Outpatient Utilization					
All Outpatient Visits	N/A	-	-	-	-
OR Procedures	N/A	-	-	-	-
Observation Units	N/A	-	-	-	-
Physician Office Visits	N/A	-	-	-	-
Ancillary					
All OR Procedures	N/A	-	-	-	-
Emergency Room Visits	N/A	-	-	-	-
Adjusted Statistics					
Adjusted Admissions	N/A	-	-	-	-
Adjusted Patient Days	N/A	-	-	-	-

C: WITH PROJECT					
	Latest Actual 2015	Budget 2016	Proposed Year 1 2017	Proposed Year 2 2018	Proposed Year 3 2019
Inpatient Utilization					
Staffed Beds	125	125	96	96	96
Admissions	459	459	430	495	509
Patient Days	41,895	41,895	41,975	43,435	43,435
Average Length of Stay	91.27	91.27	97.56	87.68	85.32
Outpatient Utilization					
All Outpatient Visits	-	-	-	-	-
OR Procedures	-	-	-	-	-
Observation Units	-	-	-	-	-
Physician Office Visits	-	-	-	-	-
Ancillary					
All OR Procedures	-	-	-	-	-
Emergency Room Visits	-	-	-	-	-
Adjusted Statistics					
Adjusted Admissions	-				
Adjusted Patient Days	-				

11/9/2016

Health Care Administration

Updated Final CON Tables.xls, Table 7

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**
TABLE 8
UTILIZATION PROJECTIONS
PROJECT SPECIFIC

A: WITHOUT PROJECT		Latest Actual	Budget	Proposed Year 1	Proposed Year 2	Proposed Year 3
You may wish to enter your own categories below:			1	2	3	4
Acute						
Acute Care Admissions						
Acute Patient Days						
Acute Staffed Beds						
Imaging						
Radiology - Diagnostic Procedures						
Nuclear Medicine Procedures						
Cat Scan Procedures						
Magnetic Resonance Imaging						
Other						
Laboratory Tests						
Division staff can assist in determining the amount of detail required to support your proposal.						

B: PROJECT ONLY		Latest Actual	Budget	Proposed Year 1	Proposed Year 2	Proposed Year 3
		0	1	2	3	4
Acute						
Acute Care Admissions		N/A	-	-	-	-
Acute Patient Days		N/A	-	-	-	-
Acute Staffed Beds		N/A	-	-	-	-
Imaging						
Radiology - Diagnostic Procedures		N/A	-	-	-	-
Nuclear Medicine Procedures		N/A	-	-	-	-
Cat Scan Procedures		N/A	-	-	-	-
Magnetic Resonance Imaging		N/A	-	-	-	-
Other						
Laboratory Tests		N/A	-	-	-	-
		N/A				
		N/A				
		N/A				
		N/A				

C: WITH PROJECT		Latest Actual	Budget	Proposed Year 1	Proposed Year 2	Proposed Year 3
		0	1	2	3	4
Acute						
Acute Care Admissions		-	-	-	-	-
Acute Patient Days		-	-	-	-	-
Acute Staffed Beds		-	-	-	-	-
Imaging						
Radiology - Diagnostic Procedures		-	-	-	-	-
Nuclear Medicine Procedures		-	-	-	-	-
Cat Scan Procedures		-	-	-	-	-
Magnetic Resonance Imaging		-	-	-	-	-
Other						
Laboratory Tests		-	-	-	-	-
		-	-	-	-	-
		-	-	-	-	-
		-	-	-	-	-
		-	-	-	-	-

11/9/2016

NOTE: When completing this table make entries in the shaded fields only.

**The Pines at Rutland
Renovation Project**

TABLE 9
STAFFING PROJECTIONS
TOTALS

A: WITHOUT PROJECT					
	Latest Actual	Budget	Proposed	Proposed	Proposed
	2015	2016	Year 1	Year 2	Year 3
			2017	2018	2019
Non-MD FTEs					
Total General Services	9.6	9.6			
Total Inpatient Routine Services	88.8	88.8			
Total Outpatient Routine Services	0.0	0.0			
Total Ancillary Services	8.1	8.1			
Total Other Services	36.2	36.2			
Total Non-MD FTEs	142.7	142.7	0.0	0.0	0.0
Physician FTEs					
Direct Service Nurse FTEs	0.3	0.3			
	37.4	37.4			

B: PROJECT ONLY					
	Latest Actual	Budget	Proposed	Proposed	Proposed
	2015	2016	Year 1	Year 2	Year 3
			2017	2018	2019
Non-MD FTEs					
Total General Services	N/A	0.0	9.6	9.6	9.6
Total Inpatient Routine Services	N/A	0.0	88.9	92.0	92.0
Total Outpatient Routine Services	N/A	0.0	0.0	0.0	0.0
Total Ancillary Services	N/A	0.0	7.4	8.8	9.2
Total Other Services	N/A	0.0	36.2	36.8	36.8
Total Non-MD FTEs	N/A	0.0	142.2	147.3	147.6
Physician Services					
Direct Service Nurse FTEs	N/A	0.0	0.3	0.3	0.3
	N/A	0.0	36.5	37.7	37.7

C: WITH PROJECT					
	Latest Actual	Budget	Proposed	Proposed	Proposed
	2015	2016	Year 1	Year 2	Year 3
			2017	2018	2019
Non-MD FTEs					
Total General Services	#VALUE!	9.6	9.6	9.6	9.6
Total Inpatient Routine Services	#VALUE!	88.8	88.9	92.0	92.0
Total Outpatient Routine Services	#VALUE!	0.0	0.0	0.0	0.0
Total Ancillary Services	#VALUE!	8.1	7.4	8.8	9.2
Total Other Services	#VALUE!	36.2	36.2	36.8	36.8
Total Non-MD FTEs	#VALUE!	142.7	142.2	147.3	147.6
Physician Services					
Direct Service Nurse FTEs	#VALUE!	0.3	0.3	0.3	0.3
	#VALUE!	37.4	36.5	37.7	37.7

ATTACHMENT 2

Base Project

Item	Areas/Items Included	Proposal Cost Per Area	Notes
1	General Conditions & Requirements	\$ 472,203	10 phases - 5 weeks per phase (50 Weeks)
2	Patient Room Flooring	\$ 131,413	VCT in Room, Sheet Vinyl Bathroom
3	Patient Room Ceiling (includes asbestos)	\$ 290,309	New Tile & Paint Existing Grid
4	Patient Room Wall Finishes	\$ 173,735	Wallcovering at Head Wall, Paint Remaining
5	Patient Room Lighting	\$ 71,986	Over Bed Fixture, Sconce
6	Patient Room Emergency Outlets	\$ 42,070	One per Bed & One Panel per Floor
7	Patient Room TV Outlets & Brackets	\$ 21,856	Based on 43 Total
8	Corridor Flooring	\$ 21,845	Carpet with Carpet Base
9	Corridor Ceilings (includes asbestos)	\$ 106,688	New Tile & Paint Existing Grid
10	Corridor Wall Finishes	\$ 42,043	Paint with Wall Covering Above
11	Corridor Handrails	\$ 9,163	New Covers Only
12	Corridor Lighting	\$ 21,881	Recessed
13	Oxygen Room	\$ 43,042	One per Floor (including HVAC & MEP)
14	Nurse Call Vendor Quote	\$ 75,308	
15	Bathing Suites	\$ 46,008	
16	Wall Construction at Four Bed Bedrooms	\$ 12,438	Painted Wall to Ceiling
17	Replace Therapy Tub	\$ 37,642	One tub per floor (3rd and 4th)
18	Acroyrn at Corridor Doors	\$ 5,639	
19	Rigid Wall Covering Below Rail in Corridor	\$ 62,370	Install Rigid Wall Covering in lieu of Paint
20	Nurses Stations & Med Rooms	\$ 91,611	Millwork, Ceiling, Floor, Elec., Etc. (No Sink)
21	New Flooring & Base at Dining Room	\$ 28,713	
22	Nourishment Stations	\$ 63,123	
23	Dining Casework	\$ 90,792	
24	Exterior Painting	\$ 177,089	
25	Subtotal	\$ 2,138,967	
26	Friable Asbestos / HazMat - Allowance	\$ 75,000	Areas Other Than Ceilings
27	Emergency Generator Allowance	\$ 150,000	
28	MEP Permit Documents - Allowance	\$ 60,000	
29	Code Compliance Repairs - Allowance	\$ 10,000	
30	Permit	\$ 21,390	
	Subtotal	\$ 2,455,357	
	Escalation - 3%	\$ 73,661	
	Contingency - 10%	\$ 245,536	
	Grand Total	\$ 2,774,553	

NOTES:

- 1 **Soft Costs are NOT included above.** These include: architectural and structural design, National Health Care management costs, relocation, FF&E, IT/data (head end, handsets and temporary), security, furnishings, wardrobes, computers, builders risk insurance, etc.

ATTACHMENT 3

ORIGINAL BUDGET MARCH 2013

Rutland

ROOM #	ROOM	QTY.	ITEM	UNIT PRICE	TOTAL PRICE	DELIVERED PRICE
308	Nurses station	3	Task arm chair	\$213.54	\$640.62	\$685.46
327	Recreation/Dining Room	1	Sofa	\$1,279.23	\$1,279.23	\$1,368.78
327	Recreation/Dining Room	2	Occasional chair	\$609.40	\$1,218.80	\$1,304.12
327	Recreation/Dining Room	1	End table	\$256.98	\$256.98	\$274.97
327	Recreation/Dining Room	44	Arm chairs	\$460.94	\$20,281.36	\$21,701.06
327	Recreation/Dining Room	5	Square tables	\$247.00	\$1,235.00	\$1,321.45
327	Recreation/Dining Room	6	Round tables	\$282.00	\$1,692.00	\$1,810.44
408	Nurses station	3	Task arm chair	\$213.54	\$640.62	\$685.46
427	Recreation/Dining Room	44	Arm chairs	\$462.09	\$20,331.96	\$21,755.20
427	Recreation/Dining Room	5	Square tables	\$247.00	\$1,235.00	\$1,321.45
427	Recreation/Dining Room	6	Round tables	\$282.00	\$1,692.00	\$1,810.44
427	Recreation/Dining Room	1	Sofa	\$1,369.33	\$1,369.33	\$1,465.18
427	Recreation/Dining Room	2	Occasional chair	\$607.34	\$1,214.68	\$1,299.71
427	Recreation/Dining Room	1	End table	\$256.98	\$256.98	\$274.97
	Resident Room	86	Resident room chairs	\$399.00	\$34,314.00	\$36,715.98
	Resident Room	86	4-Drawer chest	\$350.00	\$30,100.00	\$32,207.00
	Resident Room	86	Single wardrobes	\$500.00	\$43,000.00	\$46,010.00
	Resident Room	86	Bedside cabinets	\$270.00	\$23,220.00	\$24,845.40
	Resident Room	86	Head/Foot boards	\$180.00	\$15,480.00	\$16,563.60
	Resident Room	86	Overbed tables	\$82.00	\$7,052.00	\$7,545.64
		1	Bedsprads/Window treatment	\$69,498.34	\$69,498.34	\$74,363.22
		50	Beds with side rails	\$709.90	\$35,495.00	\$37,979.65
		50	Mattresses	\$199.50	\$9,975.00	\$10,673.25
						\$343,982.42

INT. SIGNAL
TV'S (45 TOTAL)
ARTWORK

* 10,000
* 10,000
* 10,000
* 373,982

ESCALATION SINCE
MARCH 2013 (5%)

* 18,699

* 392,398

ATTACHMENT 4

MBH Architecture Fee for Design:	\$ 76,000
Estimated Fee during Construction:	\$ 25,000
Carangelo Commercial Interiors Fee: (Interior Designer)	<u>\$ 20,000</u>
	\$ 121,000
<u>10% Design Fee Contingency</u>	<u>\$ 12,100</u>
	\$ 133,100

ATTACHMENT 5

Fabian Earth Moving

1409 Pleasant St
West Rutland VT 05777

Telephone: (802) 438 5040
Fax: (802) 438 5772

September 2, 2016
Robert Corey
Side walk and paving

Please accept this proposal for the following scope of work to be performed Fabian Earth Moving Inc.

Section 1: Repair Catch Basin

- Repair existing catch basin rim in front of the main entrance.
- Saw cut and re pave with hot mix.

Total \$2,650.00

Section 2: Dig out and replacement of asphalt

- Removal of 2550 square feet of asphalt parking lot.
- Excavation and removal of 18" of material from the 2550 square feet of the entrance loop.
- Installation of road fabric.
- Installation and compaction of 18" of crushed gravel in the area of excavation.
- Pave with asphalt 3 1/2" thick in (2) courses, 2" of binder and 1 1/2" of top.

Total \$14,350.00

Section 3: Replacing stairs and handrails

- Removal of existing concrete stairs.
- Installation of galvanized steel stairs and handrails.

Total \$7,765.00

Section 4: Sidewalk

- Saw cut and removal of 1075 square feet of 5' wide monolithic concrete side walk.
- Saw cut and removal of 925 square feet of 5' wide 5" thick concrete side walk.
- All concrete and asphalt to be disposed of at an approved waste facility.
- Replacement of 1075 square feet of monolithic sidewalk 5' wide.
- Replacement of 925 square of 5" walk.
- Topsoil seed and mulch all disturbed areas.

Total \$29,269.00

Section 5: Removal of stairs.

- Removal of the sidewalk up to the stairs and removal of the stairs.
- Installation of fill to meet grade.
- Topsoil seed and mulch all disturbed areas.

Total \$2,450.00

Total of all combined **\$56,484.00**

Alternate:

- Installation of 775 square feet of asphalt sidewalk to be tied into the driveway paving instead of 5' wide monolithic concrete side walk

Deduct from total **-\$7,050.00**

*Note: All permits to be obtained by the owner. Price does not include any landscaping or trees.
Pricing is valid for 30 days.*

Please do not hesitate to call with any questions or concerns.

Dan Brown
Co Vice President
Fabian Earth Moving
1409 Pleasant St
West Rutland VT 05777

Fax: 802 438 5772
Office: 802 438 5040
Cell: 802 342 0247
Email: dan@fabianearthmoving.com

Acceptance of Proposal- The above prices, specifications and conditions are satisfactory and are hereby accepted.

Acceptance signature

Date

ATTACHMENT 6

THE PINES AT RUTLAND

99 ALLEN STREET
RUTLAND, VERMONT 05701

ARCHITECT
MBH ARCHITECTURE, LLC
CORPORATE CENTER WEST
433 SOUTH MAIN STREET
SUITE 301
WEST HARTFORD, CT 06110
TEL: 860-521-1400
FAX: 860-521-9400

THE PINES AT RUTLAND
99 ALLEN STREET
RUTLAND, VERMONT

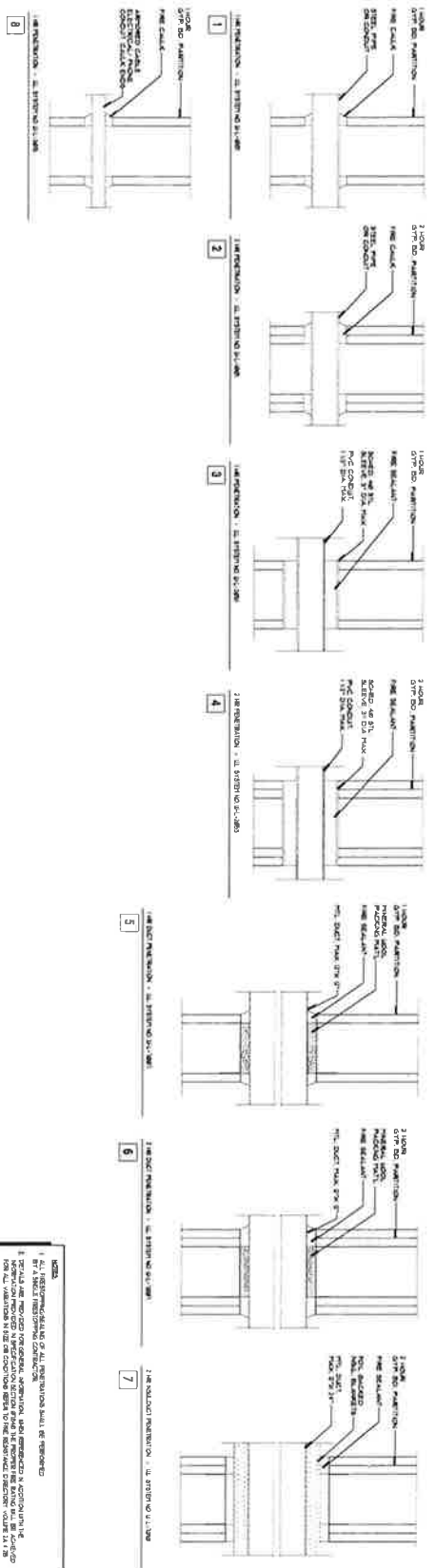
COVER SHEET

MBH
ARCHITECTURE



DATE ISSUED: 7/11/13
SCALE: N/A
PROJECT NUMBER: 13100
DRAWN BY: HC

A-001

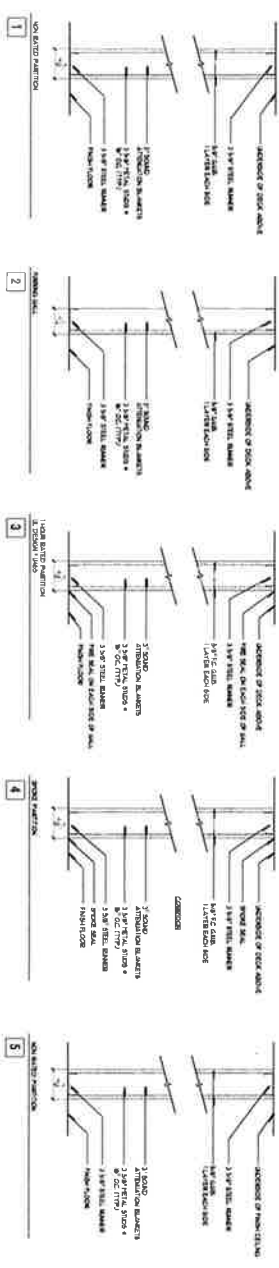


NOTES

1. ALL FIRE STOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.
2. ALL FIRE STOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.
3. ALL FIRE STOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.
4. ALL FIRE STOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.
5. ALL FIRE STOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.
6. ALL FIRE STOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.
7. ALL FIRE STOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.

1 FIRE STOPPING DETAILS

2 PARTITION TYPES



GENERAL PARTITION TYPE NOTES

1. ALL PARTITIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.
2. ALL PARTITIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.
3. ALL PARTITIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.
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7. ALL PARTITIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 201, SECTION 8.02.1.

THE PINES AT RUTLAND

99 ALLEN STREET
RUTLAND, VERMONT

FIRE STOPPING / U.L. DETAILS / WALL TYPES

MBH
ARCHITECTURE

100 N. MAIN ST.
RUTLAND, VT 05701
TEL: 802.255.1234
WWW.MBH-ARCH.COM

DATE: 10/1/2024
SCALE: 1/8" = 1'-0"
PROJECT NUMBER: 2024-001
SHEET NO. 12

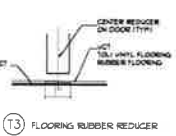
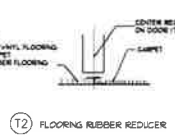
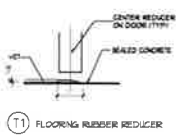
A-003

DOOR SCHEDULE			DOOR								FRAME								REMARKS				
			NO#	HEIGHT	WIDTH	FINISH	TYPE	SW / LSW	THICK	NO#	HEIGHT	WIDTH	FINISH	TYPE	THICK								
DR#	FR.	TO	THIRD FLOOR																				
1-101	101	102	2'-0"	7'-0"	3'-0"	PAINTED	1	NA	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1. FRAME TO MATCH EXISTING
1-102	102	103	2'-0"	7'-0"	3'-0"	PAINTED	1	NA	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1. FRAME TO MATCH EXISTING
1-103	103	104	2'-0"	7'-0"	3'-0"	PAINTED	1	NA	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1. FRAME TO MATCH EXISTING
1-104	104	105	2'-0"	7'-0"	3'-0"	PAINTED	1	NA	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1. FRAME TO MATCH EXISTING
FOURTH FLOOR																							
1-101	101	102	2'-0"	7'-0"	3'-0"	PAINTED	1	NA	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1. FRAME TO MATCH EXISTING
1-102	102	103	2'-0"	7'-0"	3'-0"	PAINTED	1	NA	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1. FRAME TO MATCH EXISTING
1-103	103	104	2'-0"	7'-0"	3'-0"	PAINTED	1	NA	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1. FRAME TO MATCH EXISTING
1-104	104	105	2'-0"	7'-0"	3'-0"	PAINTED	1	NA	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1	1/2"	1. FRAME TO MATCH EXISTING

HW #1	HW #2	HW #3	HW #4
BUT-HING LOCK & PINSET DOOR CLOSER	BUT-HING LOCK & PINSET DOOR CLOSER	BUT-HING LOCK & PINSET DOOR CLOSER	BUT-HING LOCK & PINSET DOOR CLOSER

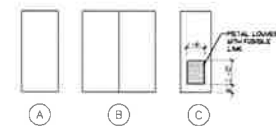
NOTES:
ALL EXISTING DOORS & FRAMES THAT ARE SCHEDULED TO REMAIN SHALL BE CLEANED & PAINTED EXISTING HARDWARE SHALL BE REMOVED OR PROTECTED PRIOR TO PAINTING DOORS & FRAMES

GENERAL NOTES
1. ALL DOOR CLOSERS TO BE POINTED ON INSIDE OF ALL DOORS NO DOOR CLOSERS SHOULD BE VISIBLE FROM CORRIDOR SIDE
2. ALL KEYING & DOOR HARDWARE SELECTIONS ARE TO BE VERIFIED BY OWNER
3. CONTRACTOR TO VERIFY ALL EXISTING DOOR & DOOR FRAME SIZES
4. CONTRACTOR SHALL VERIFY ALL REQUIRED DOOR HINGING
1. ALL WALLS SHALL HAVE 45 MIN RATED DOORS & FRAMES
2. ALL WALLS SHALL HAVE 90 MIN RATED DOORS & FRAMES

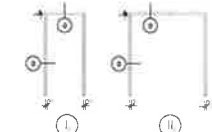


4 THRESHOLD DETAILS
SCALE: 3" = 1'-0"

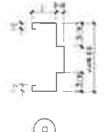
NOTES:
1. CHANGES IN FLOOR ELEVATION AT ALL THRESHOLDS ON FLOOR FINISHES SHALL NOT EXCEED 1/4" IN HEIGHT. IF A CHANGE IN ELEVATION IS BETWEEN 1/4" AND 1/2" BEVELED EDGE SHALL NOT BE STEEPER THAN 1/2"
2. REDUCER & JOINTS STRIPS REFERENCED TO THE THRESHOLD SHALL BE PROTECTIVE HARDWARE COLORED TO BE SELECTED BY OWNER



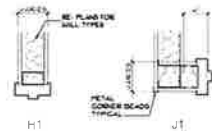
1 DOOR & WINDOW TYPES
SCALE: 1/4" = 1'-0"



2 FRAME TYPES
SCALE: 1/4" = 1'-0"



3 FRAME PROFILES
SCALE: 3" = 1'-0"



5 HEAD & JAMB DETAILS
SCALE: 1 1/2" = 1'-0"

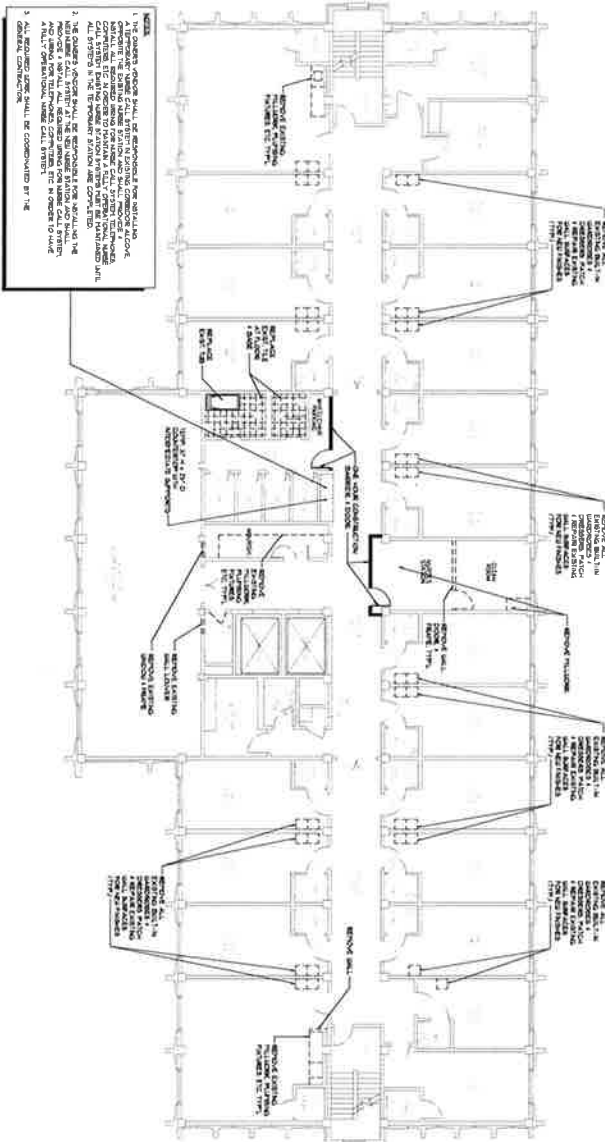
THE PINES AT RUTLAND
99 ALLEN STREET
RUTLAND, VERMONT

DOOR AND HARDWARE SCHEDULES AND DETAILS



DATE ISSUED: 1/19/13
SHEET: 405
PROJECT NUMBER: 12006
DRAWN BY: JG

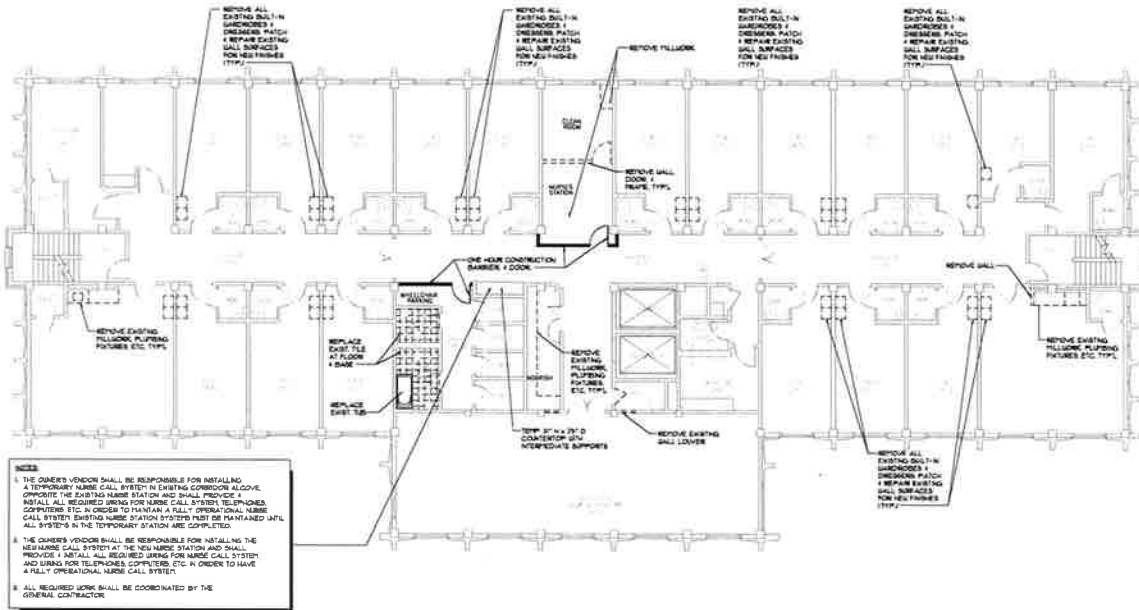
A-004



1 THIRD FLOOR DEMOLITION PLAN (11,692 S.F.)
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

- [illegible]



1 FOURTH FLOOR DEMOLITION PLAN (11,692 S.F.)

SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN FIELD REPORT ANY AND ALL DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO ARCHITECT BEFORE PROCEEDING WITH WORK.
2. CONTRACTOR SHALL CLEAN ANY AREA OUTSIDE THE CONTRACT LIMIT THAT BECOMES DIRTY AS A RESULT OF DEMOLITION. CLEANING SHALL BE DONE ON A DAILY BASIS.
3. ALL EXISTING WALLS, DOORS, FRAMES, AND CASEWORKS TO BE DEMOLISHED SHALL BE REPRESENTED BY DASHED LINES. EXISTING DOORS THAT WILL REMAIN SHALL BE REMOVED + CLEANED, REPAINTED AND REINSTALLED. DOOR FRAMES TO REMAIN AND SHALL BE CLEANED + REPAINTED (COORDINATE WITH NEW CONSTRUCTION FOR EXIST AND LOCATION OF NEW CONSTRUCTION).
4. ALL EXISTING TOILET ROOM ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW ACCESSORIES. NURSE TO PLUMB AND BRACE FOR TUBS. DETAIL REMOVE ALL GEAR RAILS IN EXISTING TOILET ROOMS AND BATHROOMS. CLEAN AND REINSTALL AFTER NEW FINISHES HAVE BEEN INSTALLED.
5. WHERE WORK IS TO BE PERFORMED UNDER THIS CONTRACT REMOVE ALL FLOORING, BASE, + WALL COVERING, SCRAPES AND PREPARE CONCRETE FLOOR SLAB AND GIRD FOR NEW FLOORING AND WALL FINISHES (FINISH SCHEDULE).
6. WHERE REMOVAL OF WALLS OR PARTITION EXTERIOR BEYOND ONE FINISHED AREA INTO ANOTHER FINISHED AREA, PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE TO PROVIDE AN EVEN SURFACE OF UNIFORM COLOR AND APPEARANCE. REMOVE EXISTING FLOOR AND WALL COVERINGS AND REPLACE WITH NEW MATERIALS + NECESSARY TO ACHIEVE UNIFORM COLOR AND APPEARANCE.
7. PROTECT ALL EXISTING SURFACES SCHEDULED TO REMAIN DURING ALL PHASES OF CONSTRUCTION.
8. CONTRACTOR TO BE RESPONSIBLE FOR ALL PENETRATIONS OF EXISTING MATERIALS AND STRUCTURES NECESSARY FOR NEW UTILITIES, MECHANICAL, ELECTRICAL, AND PUMPING WORK AND SHALL MAINTAIN APPROPRIATE HOURLY RATINGS.
9. PROVIDE TEMPORARY STRUCTURAL SUPPORT AND ENCLOSURE AS REQUIRED TO MAINTAIN INTEGRITY OF EXISTING BUILDING DURING DEMOLITION WORK.
10. REFER TO REFLECTED CEILING PLANS FOR EXTENT OF CEILING DEMOLITION AND NEW CONSTRUCTION WORK.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL MODIFICATIONS MADE TO THE EXISTING BUILDING IN ORDER TO INSTALL THE NEW SYSTEMS.
12. CONTRACTOR SHALL REMOVE ALL DEMOLITION DEBRIS LEGALLY + OFF SITE.
13. CONTRACTOR SHALL LEAVE AREA BRICK CLEAN AT THE COMPLETION OF WORK.
14. CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION AND PATCHING/REPAIR WORK REQUIRED FOR REPLACEMENT OF CEILING LIGHTS, WALL SCHEDULES, WIRING, CONDUITS, OUTLETS, ETC. UNTIL WALLS AND ABOVE CEILING AS REQUIRED.
15. EXISTING LIGHTING SHALL BE REPLACED WITH NEW LIGHTING AS SHOWN ON THE REFLECTED CEILING PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSOCIATED WORK.

THE PINES AT RUTLAND

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FOURTH FLOOR DEMOLITION PLAN

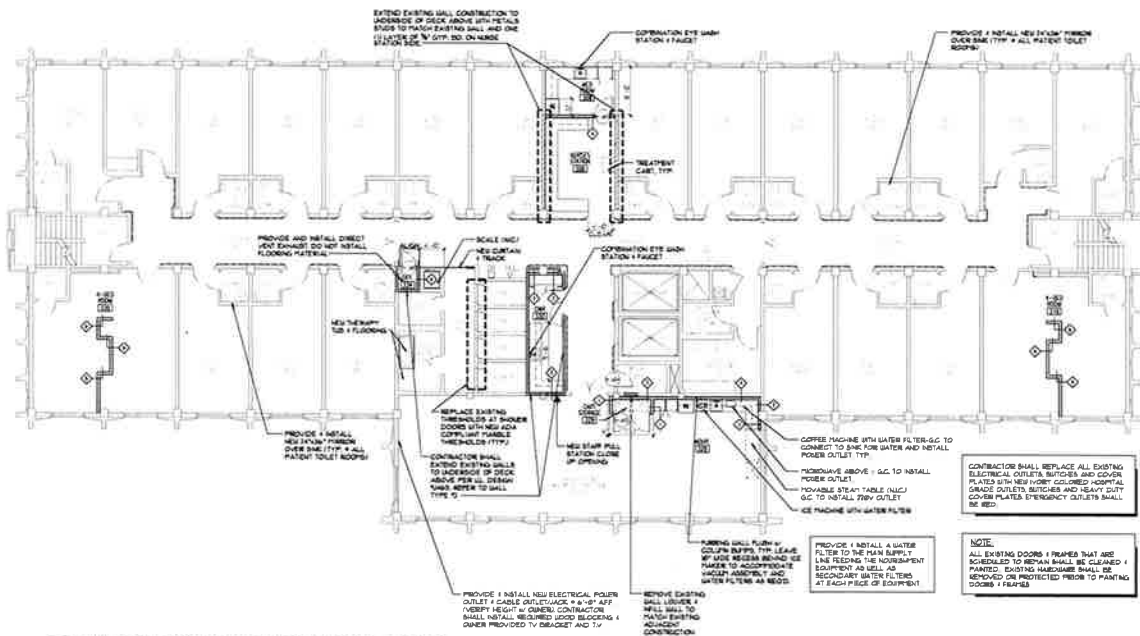
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SHEET NO. 11/15/19
SCALE: 1/8" = 1'-0"
PROJECT NUMBER: 1904
DATE: 11/15/19

AD-140



1 THIRD FLOOR PROPOSED PLAN (11,692 S.F.)
SCALE: 1/8" = 1'-0"

ALL EXISTING ROOMS

1. IN ALL PATIENT ROOMS, PROVIDE 1 INSTALL NEW ELECTRICAL POWER OUTLETS 4 CABLE TV OUTLETS/ROOMS ON BED ROOM WALL 8" x 8" AFF. VERIFY HEIGHT WITH OWNER (1) OF EACH OUTLET TYPE SHALL BE INSTALLED IN EACH PATIENT BEDROOM AND SHALL BE CENTERED ON EXISTING WALL LOCATION (TYPE) CONTRACTOR SHALL INSTALL REQUIRED WOOD BLOCKING 1 SHALL ALSO INSTALL GUARD PROVIDED BY BRACKET 1 TELEPHONE
2. PROVIDE COORDINATION WITH OWNER 1 OWNER 1 VENDOR FOR REPLACEMENT OF EXISTING NURSE CALL SYSTEM VENDOR SHALL VERIFY IF EXISTING WIRING CAN BE REUSED AND SHALL REPLACE ALL EXISTING CODE LIGHTS IN CORRIDOR (TYPE)

ALL EXISTING PATIENT ROOMS

1. REMOVE EXISTING PLUMB VALVES AND REPLACE EXISTING BED PAN WARMER TAIL PIPE WITH NEW 2" DIA. TAIL PIPE BRACKETED BACK TO WALL UPDST BED PAN WARMER REQUIRING MINIMUM FLOOR VALVES

NOTES

1. BED ROOMS SHALL BE SET UP FOR USE AS A 2-BED ROOMS SO THAT FLEXIBILITY IS PROVIDED FOR OPERATIONS THAT ALLOW FOR SAME SEX USE OF ROOMS TO ACCOMMODATE OPERATIONS WITHOUT INCREASING BED COUNTS FOR THE ENTIRE FACILITY. PROVIDE TWO OVERHEAD LIGHTS, TWO NURSE CALLS AND CURTAIN TRACKS SET UP FOR A TWO BED ROOM.
2. DASH UP INFORMATION PROVIDED BY THE OWNER, THERE IS A BEDROOM IN THIS FACILITY AND THE GC SHALL COORDINATE THEIR EFFORTS WITH THE OWNER.

TOTAL BUILDING BED CALCULATIONS

FLOOR	PROPOSED 1 BED ROOMS	PROPOSED 2 BED ROOMS	PROPOSED 3 BED ROOMS	PROPOSED 4 BED ROOMS	PROPOSED TOTAL BED COUNT
FIRST FLOOR	NA	NA	NA	NA	NA
SECOND FLOOR	5	4 (20 BEDS)	1 (2 BEDS)	1 (4 BEDS)	20 BEDS
THIRD FLOOR	5	4 (20 BEDS)	0	2 (8 BEDS)	27 BEDS
FOURTH FLOOR	4	6 (24 BEDS)	0	2 (8 BEDS)	32 BEDS
TOTALS	14 BEDS	40 (160 BEDS)	1 (2 BEDS)	5 (20 BEDS)	79 BEDS

NEW WALL CONSTRUCTION LEGEND

REFER TO WALL TYPES ON SHEET A-104 FOR DETAILED WALL CONSTRUCTION AND U.S. REQUIREMENTS

- NON-RATED PARTITION
- 20-PH INDOOR PARTITION
- 1 HOUR RATED PARTITION

CONTRACTOR ELECTRICAL PLUMBING & FIRE PROTECTION

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL MEP TRACERS AS REQUIRED IN ORDER TO PROVIDE COMPLETE JOINTING SYSTEMS (E.P. TRACERS) SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED DRAINAGE DOCUMENTS FOR BUILDING PERMIT 1 COORDINATION DRAUGHS SHALL ALSO BE SUBMITTED TO THE ARCHITECT 1 OWNER FOR REVIEW

FLOOR PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN FIELD, REPORT ANY AND ALL DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO ARCHITECT BEFORE PROCEEDING WITH WORK
2. CONTRACTOR IS RESPONSIBLE FOR ALL PATCHING AND REPAIRING OF ALL FINISH SURFACES DUE TO PENETRATIONS OF EXISTING MATERIALS AND STRUCTURES NECESSARY FOR NEW UTILITIES, MECHANICAL, ELECTRICAL, AND PLUMBING WORK
3. CONTRACTOR SHALL REPLACE ALL EXISTING WALL FLOOR AND CEILING SURFACES REQUIRED TO ACHIEVE THE FINISH AS SHOWN
4. INTERIOR DIMENSIONS ARE TO THE FINISH FACE OF WALL 1-1/2" ON FROM CENTERLINE OF COLUMN 1-1/2"
5. REFER TO SHEET A-200 AND A-201 FOR ENLARGED BEDROOM PLANS 1 ELEVATIONS
6. MATCH EXISTING CONSTRUCTION WHERE NEW AND EXISTING INTERIOR WALL PARTITIONS ADJUT
7. REFER TO SHEET A-100 1 A-101 FOR INTERIOR ELEVATIONS AND SHEETS A-100 1 A-101 FOR TELLURIC SECTIONS 1 DETAILS
8. ALL NEW 1 EXISTING CORRIDOR AND RATED WALL ASSEMBLIES SHALL BE CONSTRUCTED IN A MANNER TO PREVENT THE PASSAGE OF SMOKE OR FIRE PENETRATIONS ARE TO BE SEALED WITH U.L. APPROVED SMOKE OR FIRE RESISTANT SEALANT AS REQUIRED
9. PROVIDE NEW HANDRAILS ALONG ALL CORRIDOR WALLS GREATER THAN 8' IN LENGTH 1-1/2" AND PROVIDE CONTINUOUS WOOD BLOCKING ON BOTH SIDES OF WALLS COORDINATE INSTALLATION OF HANDRAILS 1 LOCATIONS WHERE A RAIL IS REQUIRED REFER TO DETAIL A-10 1 A-101
10. PROVIDE WATER RESISTANT GYPSUM WALL BOARD IN NEW TOILET ROOMS, PROVIDE CEMENT BOARD ON TILE WALL OF RENOVATED TUB ROOMS
11. PROVIDE 1 INSTALL 1/2" x 1/2" CLEAN LEXAN CORNER GUARDS AT ALL 90° CORNERS IN CORRIDORS
12. PROVIDE AND INSTALL 3/4" FINE TREATED PLYWOOD APPLIED TO GUM PARTITION BEHIND ALL ELECTRIC AND TELEPHONE PANELS THROUGHOUT THE BUILDING (PAINT PLYWOOD TO BLEND W/ WALL PAINT)
13. FILLWORK IS DESIGNATED WITH A HATCH PATTERN REFER TO MELLORC DRAUGHS (A-200 1 A-201)
14. FURN OUT WALLS BEHIND NEW ELECTRICAL PANELS AS REQUIRED TO INSTALL BOX
15. PROVIDE AND INSTALL NEW 5/8" CEMENT BOARD ON ALL WALLS OF NEW TUB ROOMS
16. GC SHALL INSPECT EXISTING THRU WALL HVAC INTAKE, ADJUST UP AS REQD TO PROVIDE POSITIVE DRAINAGE AT CONDENSATE LINES TYPE 1 REPAIR OR DAMAGED GYP DO AS REQD DURING ROOM RENOVATION PHASE
17. PROPERLY PREPARE ALL SURFACES TO RECEIVE NEW FINISHES INCLUDING BUT NOT LIMITED TO PATCHING, SANDING, STONE AND PRIME (TYPE)

GENERAL SCOPE OF WORK

- CORRIDORS**
- NEW CEILING GRID 1 TILE
 - NEW LIGHTING
 - NEW HAND RAILS (HORIZONTAL TO MATCH EXISTING AT 2ND FLOOR)
 - NEW WALL COVERING PATCH TYPE 1 STYLE ON EXISTING 2ND FLOOR
 - NEW CARPETING 1 CARPET BASE

- TYPICAL EXISTING BEDROOM**
- PAINT CEILING GRID 1 TILE
 - DEMOLISH BUILT IN WARDROBES
 - NEW LCA SPOUNCE
 - RELOCATE TV CABLE 1 OUTLETS FOR PLAT BOARD TV
 - REMOVE CLEAN 1 REINSTALL EXISTING CURTAIN TRACKS
 - NEW OVER BED LIGHT
 - REPLACE NURSE CALL SYSTEM GO TO VERIFY THAT EXISTING WIRING IS OK TO REUSE
 - HEAD WALL TO HAVE WALL COVERING AND BALANCE OF ROOM IS TO BE PATCHED
 - NEW VCT FLOORING 1 VCTB BARS
 - NEW MELLORC LOCATIONS (MELLORC CORPORATION NAME)
 - INSTALL TV BRACKETS 1 REQUIRED BLOCKING

- FOUR BEDDED ROOMS**
- PAINT WALLS EXCEPT WALL COVERING ON HEAD WALL
 - NEW OVER BED LIGHTS
 - NEW PARTITIONS (SEE ENLARGED PLANS)
 - REPLACE CEILING GRID AND TILE
 - NEW CEILING MOUNTED CURTAIN TRACKS
 - DEMOLISH BUILT IN WARDROBES NEW HAND SINK
 - REPLACE NURSE CALL SYSTEM GO TO VERIFY THAT EXISTING WIRING IS OK TO REUSE
 - NEW VCT FLOORING 1 VCTB BARS
 - NEW BED LOCATIONS (MELLORC CORPORATION NAME)
 - INSTALL NEW TV CABLE OUTLETS 1 JARVIS OUTLETS FOR PLAT TV
 - INSTALL TV BRACKETS 1 REQUIRED BLOCKING

- BEDROOM TOILETS**
- PAINT CEILING
 - PAINT WALLS
 - NEW SHEET VINYL FLOORING WITH RUBBER GORE BASE
 - INSTALL SHOWER WATER GUARD BUT REMOVE BED PAN WARMER CONNECTION
 - NEW HANDBASE
 - NEW WALL MOUNTED LIGHT FIXTURE OVER TUB

- NURSE STATION 1 SIX CUR DRUG ROOM**
- MOVEMENT AREA, OUTSIDE CLOSET AND AREA FOR NURSE
 - NEW FLOORING 1 BASE (REFER TO FINISH SCHEDULE)
 - NEW CEILING GRID 1 TILE
 - NEW LIGHTS
 - PAINT WALLS EVERYWHERE EXCEPT PROVIDE 1 BUILT IN WALL COVERING IN PATIENT ROOM PLUMBING AS NOTED ON FLOOR PLANS
 - TEMPORARILY RELOCATE COIL FOR AIR AND TELEPHONE CABLE DATA 1 VOICE DURING CONSTRUCTION AND THEN RELOCATE TO FINAL LOCATION
 - PROVIDE 01 VOICE 1 IN DATA 1 IN TELEPHONE LOCATIONS IN FINAL LOCATIONS
 - NEW OUTSIDE CLOSET

- BATHING SUITE AREA**
- TOILET TO REMAIN PAINT WALLS NEW LIGHTING
 - PAINT CEILING 1 GORE REPLACE EXISTING TUB FLOOR 1 BASE
 - TUB ROOM REPLACE TUB PAINT CEILING 1 GORE FLOOR 1 BASE
 - NEW CARPET TRACKS
 - EXISTING SHOWERS TO REMAIN

ALTERNATIVES

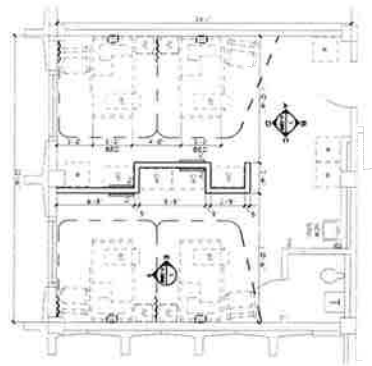
- ALTERNATIVE 01**
- PROVIDE 100% SHEET WALL PROTECTION BELOW HANDRAILS IN CORRIDORS AS PLANNED BY JPMG CORP
- ALTERNATIVE 02**
- PROVIDE DOOR FRAME GUARDS 1 CLEAN KICK PLATES ON ALL CORRIDOR DOORS AS PLANNED BY JPMG CORP
- ALTERNATIVE 03**
- PROVIDE CLEAN CORNER GUARDS AT ALL CORNERS 1 PATIENT BEDROOMS AS MANUFACTURED BY JPMG CORP
- ALTERNATIVE 04**
- PROVIDE WALL GUARD BUFFER RAIL IN PATIENT BEDROOMS 1 AREA TO BOTTOM OF RAIL ON ALL WALLS EXCEPT FOR HEADWALLS AS MANUFACTURED BY JPMG CORP
- ALTERNATIVE 05**
- PROVIDE WALL GUARD BUFFER RAIL IN CORRIDORS 1 AREA TO BOTTOM OF RAIL OVER WALL COVERING AS MANUFACTURED BY JPMG CORP

THE PINES AT RUTLAND
99 ALLEN STREET
RUTLAND, VERMONT

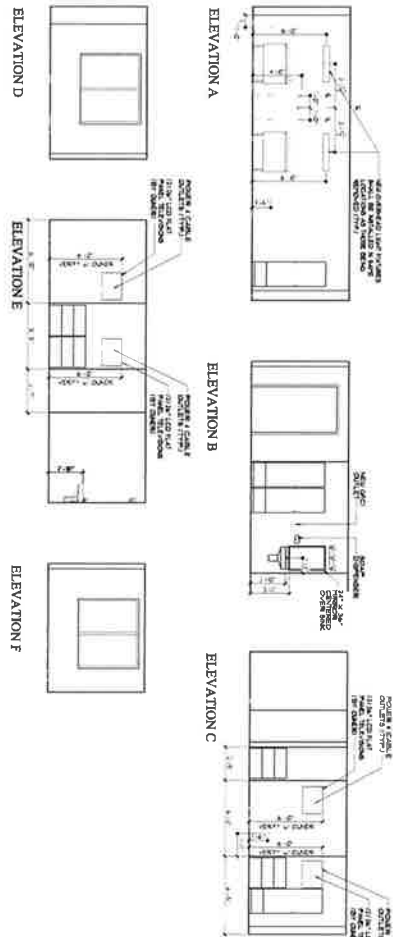
THIRD FLOOR PLAN



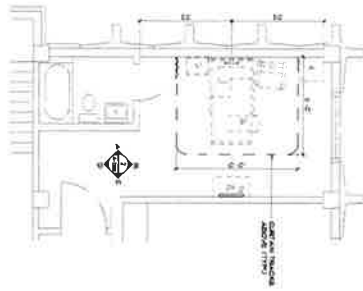
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PROJECT NUMBER	11776
SHEET NO.	13



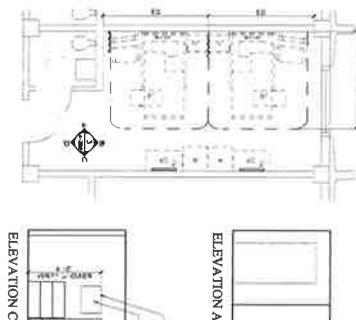
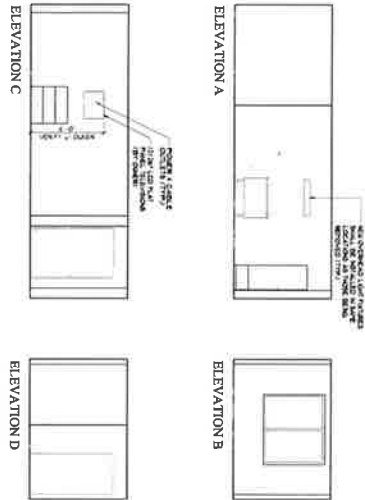
1 4-BED BEDROOM #318 PLAN & ELEVATION (BEDROOM #339 OPPOSITE HAND)
SCALE: 1/8" = 1'-0"



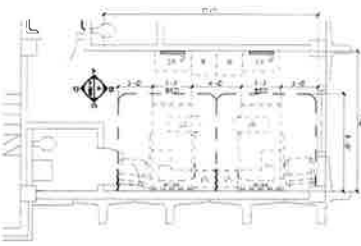
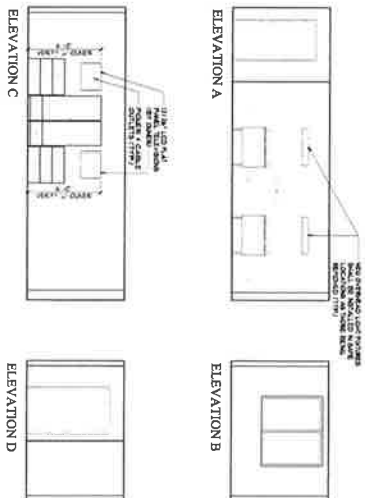
- GENERAL NOTES**
- ALL TOILET ROOMS TO BE REMOVED AND RELOCATED TO THE EAST END OF THE BUILDING.
 - ALL NEW WALLS TO BE CONCRETE BLOCK WITH INTERIOR FINISHES.
 - ALL EXISTING WALLS TO BE REMOVED AND RELOCATED TO THE EAST END OF THE BUILDING.
 - ALL EXISTING WALLS TO BE REMOVED AND RELOCATED TO THE EAST END OF THE BUILDING.
- DETAILS**
- TOILET ROOMS TO BE REMOVED AND RELOCATED TO THE EAST END OF THE BUILDING.
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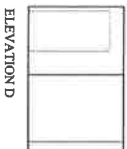
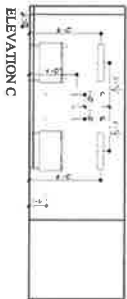
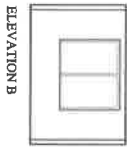
2 1-BED ISOLATION ROOM #301 PLAN & ELEVATIONS
SCALE: 1/8" = 1'-0"



3 TYPICAL EXISTING 2-BED BEDROOM PLAN & ELEVATIONS
SCALE: 1/8" = 1'-0"



4 2-BED BEDROOM #316 PLAN & ELEVATIONS
SCALE: 1/8" = 1'-0"



DETAILS

- TOILET ROOMS TO BE REMOVED AND RELOCATED TO THE EAST END OF THE BUILDING.
- ALL NEW WALLS TO BE CONCRETE BLOCK WITH INTERIOR FINISHES.
- ALL EXISTING WALLS TO BE REMOVED AND RELOCATED TO THE EAST END OF THE BUILDING.
- ALL EXISTING WALLS TO BE REMOVED AND RELOCATED TO THE EAST END OF THE BUILDING.

THE PINES AT RUTLAND

99 ALLEN STREET
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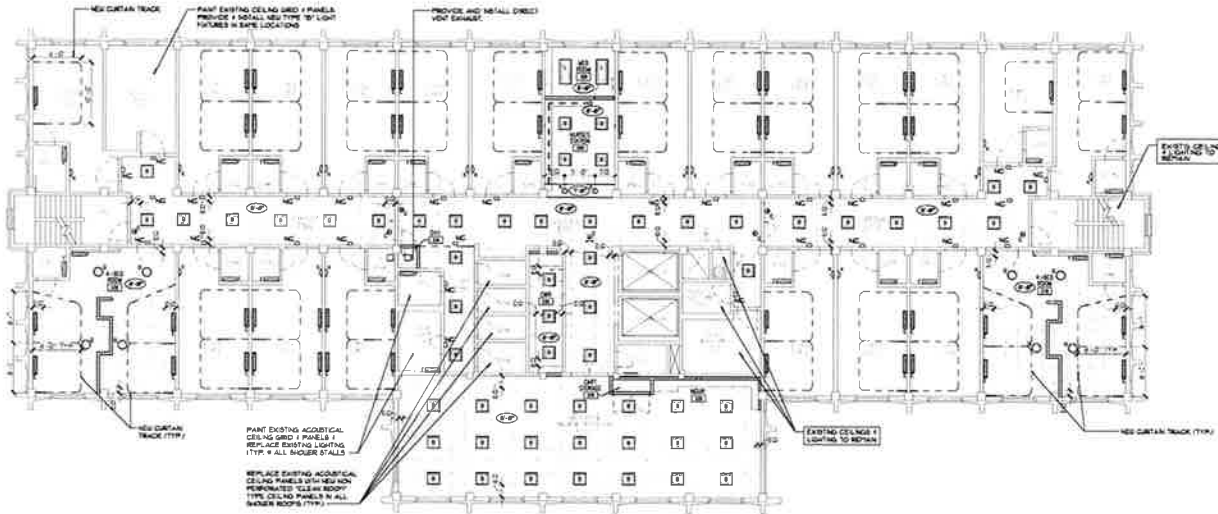
ENLARGED THIRD FLOOR BEDROOM PLANS AND ELEVATIONS



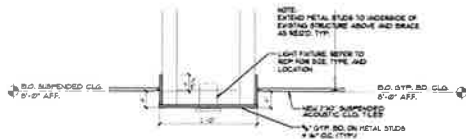
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PROJECT: 13-01
SHEET: 13-01

A-200

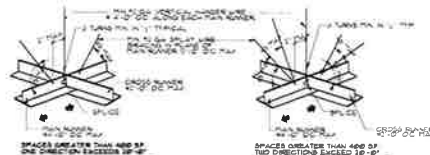




1 THIRD FLOOR REFLECTED CEILING PLAN (11,692 S.F.)
SCALE: 1/8" = 1'-0"



2 DROP SOFFIT DETAIL AT NURSES STATION (310)
SCALE: 7/8" = 1'-0"



3 SEISMIC SPLAY BRACING (ASTM E 580)
NOTE: CEILING OF 400 SF OR LESS SUBPENDED BY GULLY THAT CONNECT DIRECTLY TO STRUCTURE ABOVE ARE EXCLUDED FROM THESE DETAILS.

LIGHT FIXTURES LEGEND:

- A. 8'x8' RECESSED FLUORESCENT DOWN LIGHT (WHITE TRIM) LIGHT FIXTURE. MANUFACTURER: ELATE. MODEL: GRN-PSG-0683-C-1-1A-001.
- B. RECESSED 2'x4' INDIRECT FLUORESCENT INDIRECT SIDE BASKET. MANUFACTURER: LBI. MODEL: L311L-G-4-1400X-RP0-800-UE.
- C. EXIT SIGN. MANUFACTURER: HANALITE. MODEL: NHTS-3-R-10-1.
- D. DOOR CABINET DIRECT LIGHTING (REFER TO MILLWORK PLANS). MANUFACTURER: REMALL. MODEL: ALCAL-PH04-120-10.
- E. OVER BED LIGHT. INDIRECT/DIRECT AS MANUFACTURED BY ALB. (LUMINOUS) 30W 4" SQUARE ACRYLIC EDGECAP WHITE DOWNER (2 INDIRECT / DIRECT) 3'-0" LONG WHITE PUSH. MODEL: D100-3-83-111E-0-2-5 (4 POSITION SWITCH).
- F. WALL MOUNTED OVER MIRROR LIGHT FIXTURE IN BATHROOM. INSTALL INVERTED. MANUFACTURER: PROGRESS LIGHTING. MODEL: P350-05-EBUS.
- G. 8'x4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE. MANUFACTURER: PROGRESS LIGHTING. MODEL: P354-4-00B.
- H. 1'x1' RECESSED FLUORESCENT LIGHT FIXTURE.
- I. WALL SCONCE IN PATIENT BEDROOMS (TYP.).
- J. RECESSED 2'x4' INDIRECT FLUORESCENT INDIRECT SIDE BASKET. MANUFACTURER: LBI. MODEL: L311L-G-4-1400X-RP0-800-UE.
- K. GULLY AND DOME LIGHT SHALL BE CEILING FAN/BLADE MOUNTED OVER DOOR.
- L. GYP. CEILING.
- M. CENTER LINE.

REFLECTED CEILING NOTES:

- ALL NEW EXISTING SUBPENDED ACoustICAL CEILING TILES TO BE TESSERA ACoustICAL TILES w/ WHITE GRID.
- FIELD COORDINATE THE INSTALLATION OF EXISTING OUTWORK SPEAKERS, SMOKE DETECTORS, ETC. WITH THE PROPOSED LOCATION OF NEW LIGHTING IN THE CORRIDORS.
- THE ACoustICAL CEILING IN THE CLEAN WORK ROOM SHALL BE DROP IN (SINKABLE) ACoustICAL CEILING TILES w/ WHITE GRID.
- ALL SUBPENDED ACoustICAL CEILING TO MATCH EXISTING CEILING HEIGHTS HOWEVER BASE CEILING HEIGHTS TO 8'-0" AFF. WHEREVER POSSIBLE. DISCREPANCY OR CLASH WORK OR FLOORING EXISTING CONDITIONS, UNLESS NOTED OTHERWISE.
- REPLACE ALL EXISTING SPRINKLER HEADS WITH NEW CONCEALED TYPE SPRINKLER HEADS.

- NOTES:
- ALL EXISTING SPRINKLER HEADS SHALL BE REPLACED WITH NEW SPRINKLER HEADS TO MATCH SECOND FLOOR.
 - PODDY EXISTING SPRINKLER SYSTEM & LAYOUT TO ACCOMMODATE NEW CEILING & LIGHT FIXTURE LAYOUT.

EXISTING PATIENT BEDROOM NOTES:

- EXISTING ACoustICAL CEILING GRID & PANELS SHALL REMAIN AND SHALL BE PAINTED (TYP.).
- REPLACE EXISTING WALL SCONCE LIGHT FIXTURES WITH NEW FIXTURES IN SAME LOCATIONS (TYP.).
- REPLACE EXISTING OVERMIRROR LIGHT FIXTURES WITH NEW FIXTURES IN SAME LOCATIONS (TYP.). REMOVE EXISTING LIGHT SWITCHES & REPLACE WITH NEW HOSPITAL GRADE ELECTRICAL.
- REMOVE EXISTING CURTAIN TRACKS, CLEAN & REINSTALL AFTER CEILING HAS BEEN PAINTED (TYP.).
- EXISTING TOILET ROOM ACoustICAL CEILING GRID & PANELS SHALL BE PAINTED. REPLACE EXISTING EXHAUST FLOOR GRILLE (TYP.).

THE PINES AT RUTLAND
99 ALLEN STREET
RUTLAND, VERMONT

THIRD FLOOR REFLECTED CEILING PLAN

MBH
ARCHITECTURE

ARCHITECTS

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PHONE: 802.253.1234 FAX: 802.253.1235

WWW.MBHARCHITECTURE.COM

DATE: 01/13/10

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 12188

DATE: 01/13/10

BY: [Signature]

FOR: [Signature]

DATE: 01/13/10

SCALE: 1/8" = 1'-0"

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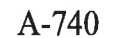
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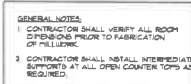
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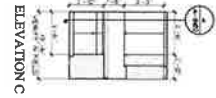
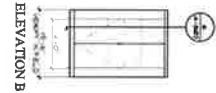
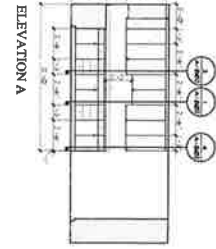
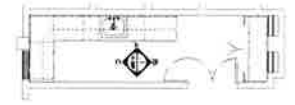




2 NURSES STATION #308 PLAN & ELEVATION

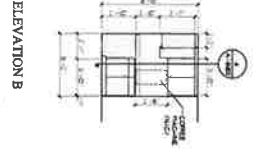
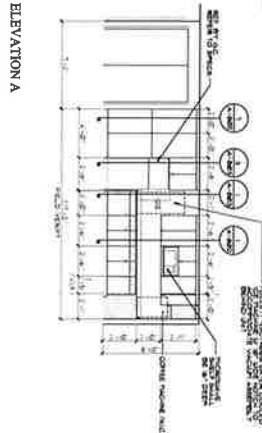
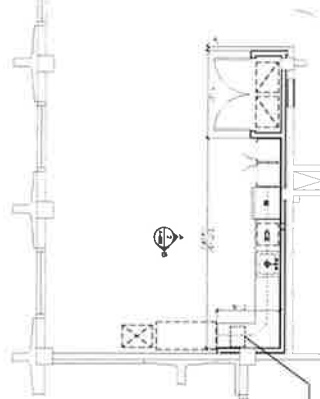
4 NOURISHMENT ROOM #328 PLAN & ELEVATION

6 NURSES STATION #308 PLAN & ELEVATION



1 CLEAN WORK ROOM #430 PLAN & ELEVATION

SCALE: 1/4" = 1'-0"



2 NOURISHMENT ROOM #428 PLAN & ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES:
1. CONSULT WITH THE ARCHITECT FOR ALL ROOM
CONNECTIONS AND TO PROVIDE TO THE
CONTRACTOR FOR THE CONSTRUCTION
2. CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE 2015 INTERNATIONAL RESIDENTIAL
BUILDING CODE (IRC) AND ALL CITY/COUNTY ORDINANCES.

THE PINES AT RUTLAND

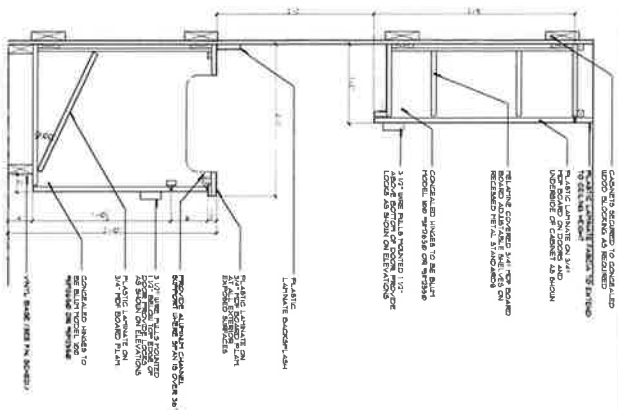
99 ALLEN STREET
RUTLAND, VERMONT

MILLWORK PLANS AND ELEVATIONS

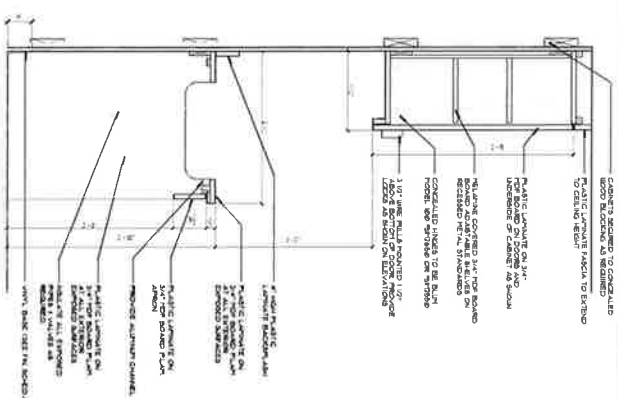


DATE: 01/17/2015
BY: R00000000
PROJECT: THE PINES AT RUTLAND
SHEET: 10 OF 12

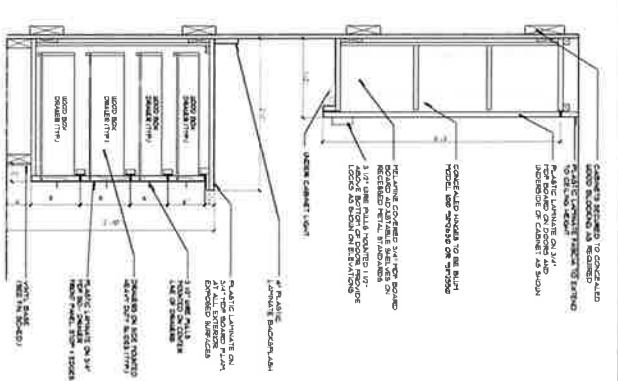
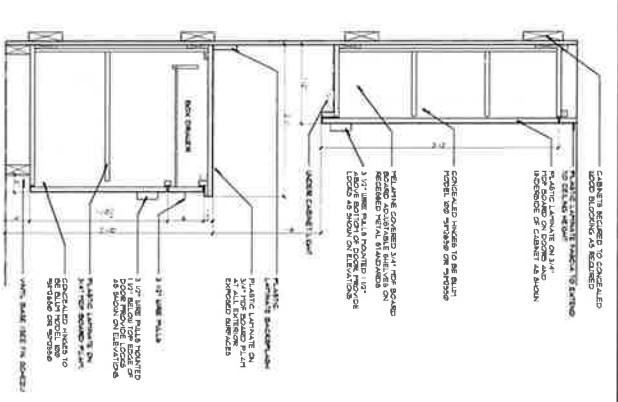
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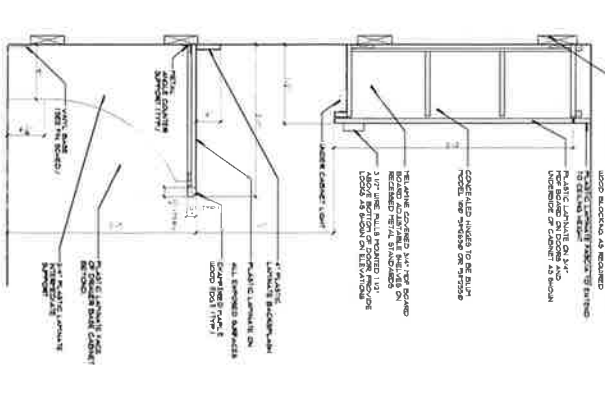
1 LOWER & UPPER CABINET DETAIL / SINK
SCALE 1 1/4" = 1'-0"



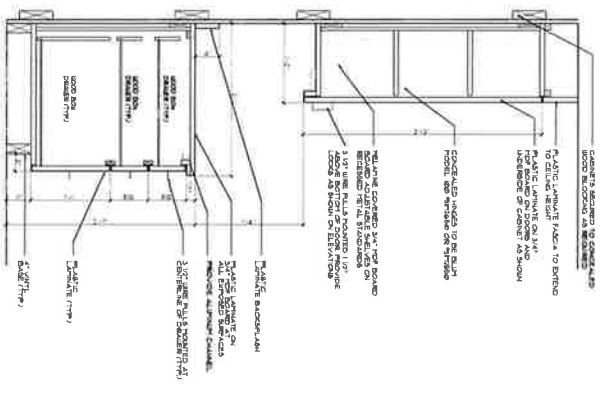
2 OPEN LOWER CABINET DETAIL @ SINK
SCALE: 1/8" = 1'-0"

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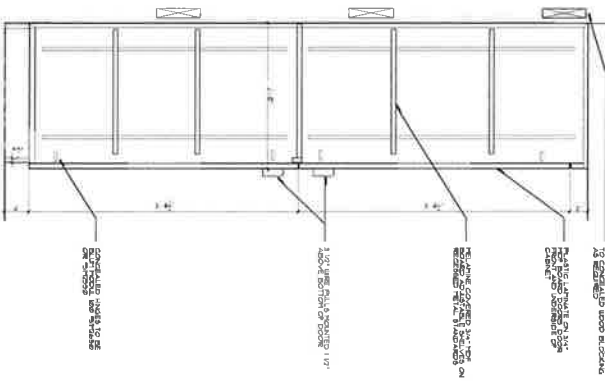
4 LOWER & UPPER CABINET DETAIL.



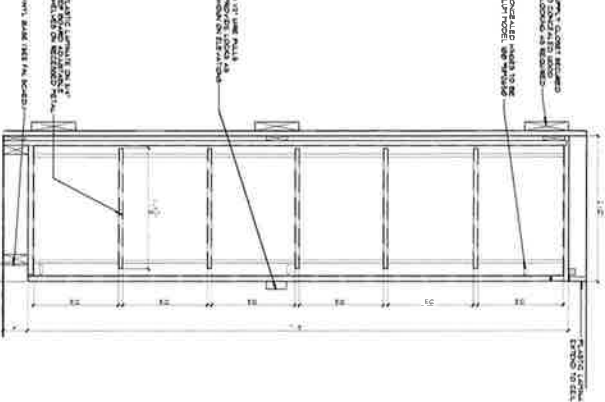
5 LOWER & UPPER OPEN COUNTER DETAIL
SCALE 1/4" = 1'-0"



6 LOWER & UPPER CABINET DETAIL.

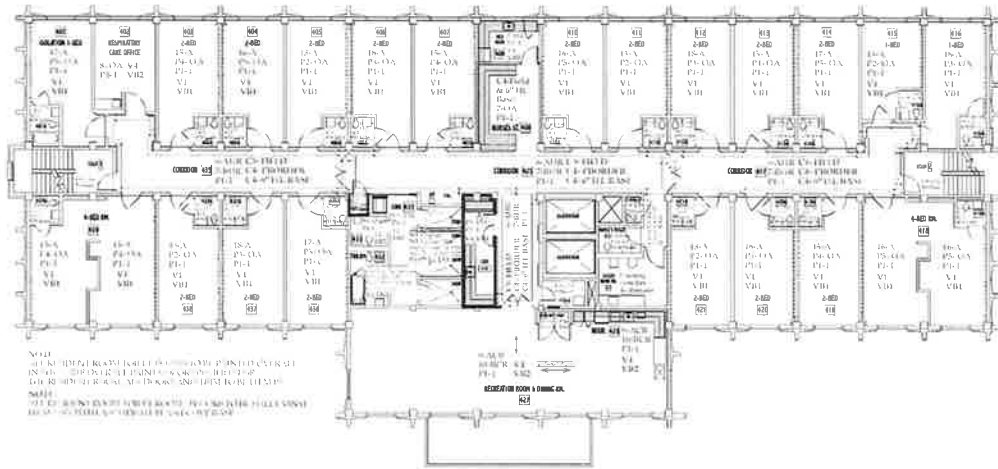


7 UPRIGHT STORAGE CABINET DETAIL
SCALE: 1/8" = 1'-0"



8 FULL HEIGHT CABINET & SHELVING DETAIL





KEY - WALL FINISHES	
A	- ACCENT
B	- BORDER
OA	- OVERALL
T	- TRIM
ACR	- ABOVE CHAIR RAIL
BCR	- BELOW CHAIR RAIL
AHR	- ABOVE HAND RAIL
BHR	- BELOW HAND RAIL

FLOOR FINISH KEY					
Item #	Distributor	Item	Stock #	Color	Size
C1	Tandus C+A	Carpet	Helena 03867	Sundew 30701	6 W Powerbond
C2	Tandus C+A	Carpet	Cerise 03988	Sundew 30701	6 W Powerbond
C3	Tandus C+A	Carpet	Helena 03867	Aqua Blue 30708	6 W Powerbond
C4	Tandus C+A	Carpet	Cerise 03988	Aqua Blue 30708	6 W Powerbond
V1	Armstrong	VCT Imperial Texture Standard Excelon	51929	Sandy Beach	12 x 12 x 1/8
V2	Armstrong	VCT Imperial Texture Standard Excelon	51809	Desert Heige	12 x 12 x 1/8
V3	Armstrong	VCT Imperial Texture Standard Excelon	51076	Mint Cream	12 x 12 x 1/8
V4	Armstrong	Plank Vinyl Floor	Arbor Art TP010	Wild Cherry Medium	4 x 36
SV1	Johnsonite	Sheet Vinyl Floor + Base	Grant 770	Soft Fleece CB	Roll length approx. 82 x 6 nom. width
T1	Dal-Tile	Ceramic Mosaic Tile Floor	3005	See Spec.	2" x 2"
T2	Dal-Tile	Ceramic Mosaic Tile Floor	3005	See Spec.	2" x 2"

GENERAL NOTES:

1. **ARCHITECTURAL DRAWING**
All drawings are based on a standard set of drawings as provided by the client. Client assumes all responsibility for the accuracy of person data required to CCI.

2. **INSTALLATION**
All drawings are based on a standard set of drawings as provided by the client. Client assumes all responsibility for the accuracy of person data required to CCI.

3. **GENERAL NOTES**
All drawings are based on a standard set of drawings as provided by the client. Client assumes all responsibility for the accuracy of person data required to CCI.

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9. **GENERAL NOTES**
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10. **GENERAL NOTES**
All drawings are based on a standard set of drawings as provided by the client. Client assumes all responsibility for the accuracy of person data required to CCI.

CCI
Carangelo Commercial Interiors, LLC
102 Main Street
Old Saybrook, CT 06475
860-388-6623



THE PINES AT RUTLAND
99 ALLEN STREET
RUTLAND, VERMONT
FINISH PLANS - FOURTH FLOOR

DRAWING # F2



FLOOR FINISH KEY					
Item #	Distributor	Item	Stock #	Color	Size
C1	Tandus C+A	Carpet	Helena 03867	Sundew 30701	6 W Powerbond
C2	Tandus C+A	Carpet	Cerise 03988	Sundew 30701	6 W Powerbond
C3	Tandus C+A	Carpet	Helena 03867	Aqua Blue 30708	6 W Powerbond
C4	Tandus C+A	Carpet	Cerise 03988	Aqua Blue 30708	6 W Powerbond
V1	Armstrong	VCT Imperial Texture Standard Excelon	51929	Sandy Beach	12 x 12 x 1/8
V2	Armstrong	VCT Imperial Texture Standard Excelon	51809	Desert Beige	6 W Powerbond
V3	Armstrong	VCT Imperial Texture Standard Excelon	51876	Mint Cream	12 x 12 x 1/8
V4	Armstrong	Plank Vinyl Floor	Arbor Art TP010	Wild Cherry Medium	4 x 36
SV1	Johnsonite	Sheet Vinyl - Floor + Base	Granit 770	Soft Fleece CB	Roll length approx. 82 x 6 nom. width
T1	Dal-Tile	Ceramic Mosaic Tile Floor	3005	See Spec.	2" x 2"
T2	Dal-Tile	Ceramic Mosaic Tile Floor	3005	See Spec.	2" x 2"

4. RE-VALUATION
Contractor is required to comply in complete accordance with manufacturer's instructions. Contractor is responsible for backing, finishing, sanding and will consult with manufacturer to ensure proper installation or product. All product installation contracts are to be submitted and approved by the manufacturer. Failure to consult any product contract will be the sole responsibility of the contractor. The final cost will be brought upon the maker for additional order and material specifications (see table).

Any item has been damaged, mutilated or changed in any way due to fire and will be subject to the original required finish application and the manufacturer's instructions. Should the contractor fail to notify CTS of any damaged or mutilated items, the contractor will be responsible and a statement that the damaged finished work has not been processed a charge will be submitted. Any product installation in which the contractor who is doing original work will be the responsibility of the contractor. No financial claim for payment shall be brought upon the maker.

Any CTS discrepancy regarding the work must be clarified prior to installation. Any product that does not comply with code reg to be installed.

5. BASE CONTRACTOR
Contract executed by and approved by the client must be received at date and time from base finishers, codes 1-5. The responsibility of the contractor and supplier to verify the base contractor prior to purchase or installation. The contractor must be submitting to suppliers provided by the client and must identify lines by serial number. His registrations will be accepted.

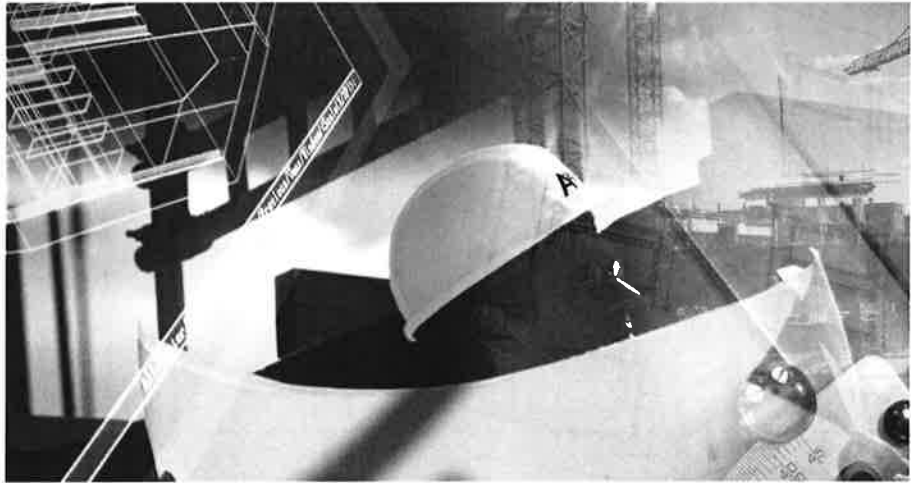
6. QUALITY INSPECTION
No interpretation of the meaning of the plans, specifications, or other contract documents will be made. Any request for a change order or revision must be submitted in writing to CTS. CTS will prepare such a written addition and it will be submitted to the architect and the contractor. The contractor will be responsible for the change order. The contractor will be responsible for the change order or revision to the appropriate sub-contractor. It is to be noted that changing or revising may not result in a drawing of plans.

This finish specification package and the related finish plans set out an understanding of all selections and their contractor's installation terms. CTS will provide all materials upon the documents as submitted. If there are any omissions or changes, the client is to bring them to our attention in writing before the 15th day of May after the document is an executed record.

CCI
Carangelo Commercial Interiors, LLC
102 Main Street
Old Saybrook, CT 06475
860-388-6623

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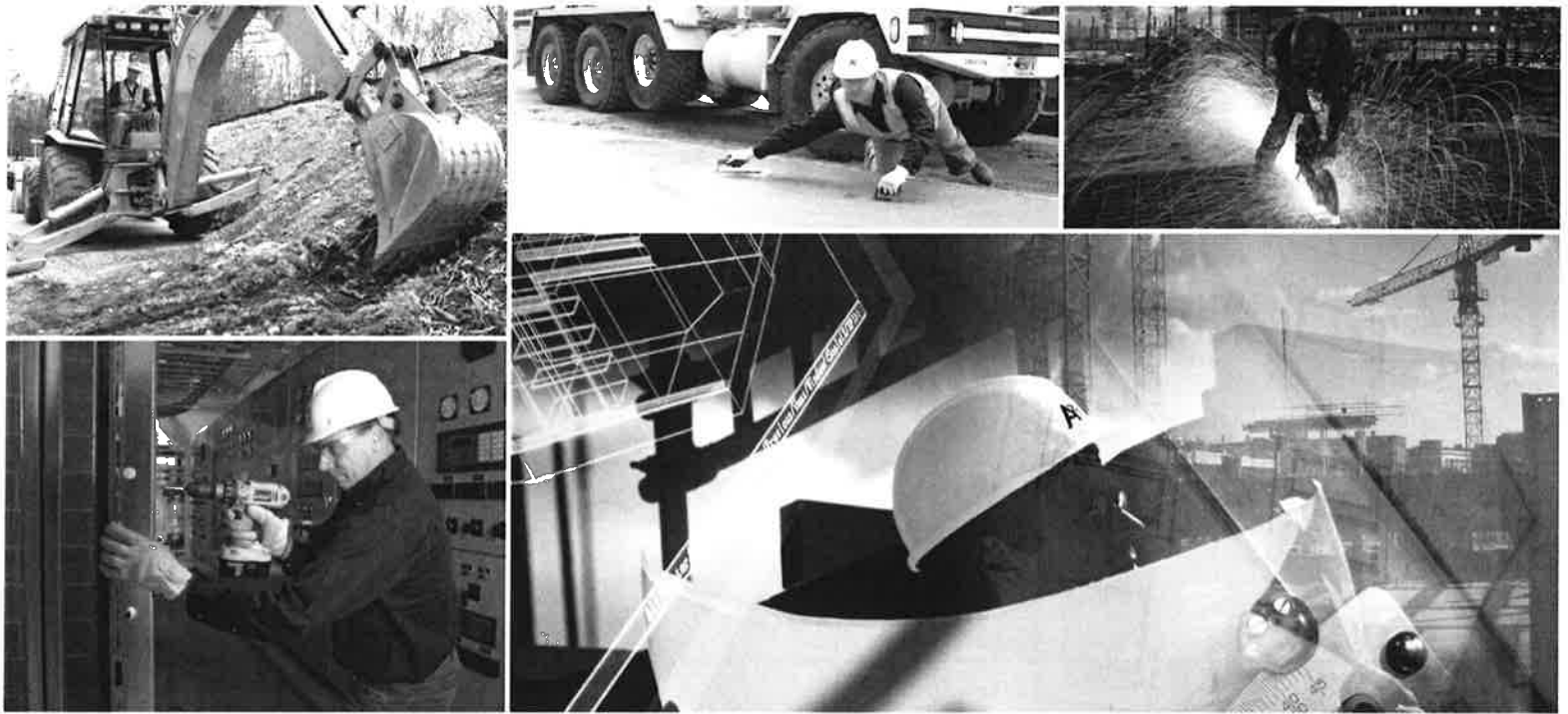
ATTACHMENT 7



National
HealthCare

Response to Request for Budget • June 27, 2016

The Pines, 3rd & 4th Floor Renovation



Response to Request for Budget • June 27, 2016

The Pines, 3rd & 4th Floor Renovation

Mr. John Russell
Construction Manager
National HealthCare
850 Silas Deane Highway
Wethersfield, CT 06109

Dear Mr. Russell,

On behalf of A/Z Corporation (A/Z), I would like to thank you for the opportunity to present our revision to the preliminary budget proposal offer to National HealthCare for The Pines, 3rd & 4th Floor Renovation based comments and feedback from our June 17th Proposal . We have further refined this preliminary budget proposal to help you understand the costs of various components of the project. This budget is for planning purposes only.

We look forward to reviewing our submission with you and having an opportunity to demonstrate our commitment to the success of this initiative. If you have any questions or would like to schedule a meeting, please contact me at (508) 380-3386 or ahall@a-zcorp.com.

Sincerely,
A/Z Corporation

Aaron P. Hall, MBA, LEED AP
Program Director

Table of Contents



1 Feasibility Study Budget

2 Detailed Estimate

3 Basis of Estimate

4 Standard Commercial Terms



Feasibility Study Budget



Base Project

Item	Areas/Items Included	Proposal Cost Per Area	Notes
1	General Conditions & Requirements	\$ 472,203	10 phases - 5 weeks per phase (50 Weeks)
2	Patient Room Flooring	\$ 131,413	VCT in Room, Sheet Vinyl Bathroom
3	Patient Room Ceiling (includes asbestos)	\$ 290,309	New Tile & Paint Existing Grid
4	Patient Room Wall Finishes	\$ 173,735	Wallcovering at Head Wall, Paint Remaining
5	Patient Room Lighting	\$ 71,986	Over Bed Fixture, Sconce
6	Patient Room Emergency Outlets	\$ 42,070	One per Bed & One Panel per Floor
7	Patient Room TV Outlets & Brackets	\$ 21,856	Based on 43 Total
8	Corridor Flooring	\$ 21,845	Carpet with Carpet Base
9	Corridor Ceilings (includes asbestos)	\$ 106,688	New Tile & Paint Existing Grid
10	Corridor Wall Finishes	\$ 42,043	Paint with Wall Covering Above
11	Corridor Handrails	\$ 9,163	New Covers Only
12	Corridor Lighting	\$ 21,881	Recessed
13	Oxygen Room	\$ 43,042	One per Floor (including HVAC & MEP)
14	Nurse Call Vendor Quote	\$ 75,308	
15	Bathing Suites	\$ 46,008	
16	Wall Construction at Four Bed Bedrooms	\$ 12,438	Painted Wall to Ceiling
17	Replace Therapy Tub	\$ 37,642	One tub per floor (3rd and 4th)
18	Acroyyn at Corridor Doors	\$ 5,639	
19	Rigid Wall Covering Below Rail in Corridor	\$ 62,370	Install Rigid Wall Covering in lieu of Paint
20	Nurses Stations & Med Rooms	\$ 91,611	Millwork, Ceiling, Floor, Elec., Etc. (No Sink)
21	New Flooring & Base at Dining Room	\$ 28,713	
22	Nourishment Stations	\$ 63,123	
23	Dining Casework	\$ 90,792	
24	Exterior Painting	\$ 177,089	
25	Subtotal	\$ 2,138,967	
26	Friable Asbestos / HazMat - Allowance	\$ 75,000	Areas Other Than Ceilings
27	Emergency Generator Allowance	\$ 150,000	
28	MEP Permit Documents - Allowance	\$ 60,000	
29	Code Compliance Repairs - Allowance	\$ 10,000	
30	Permit	\$ 21,390	
	Subtotal	\$ 2,455,357	
	Escalation - 3%	\$ 73,661	
	Contingency - 10%	\$ 245,536	
	Grand Total	\$ 2,774,553	

NOTES:

- 1 **Soft Costs are NOT included above.** These include: architectural and structural design, National Health Care management costs, relocation, FF&E, IT/data (head end, handsets and temporary), security, furnishings, wardrobes, computers, builders risk insurance, etc.

Detailed Estimate





Standard Estimate Report

E15540 3rd & 4th Floors

Page 1

6/27/2016 4:33 PM

6-16-16 CON Update

Project name E15540 3rd & 4th Floors
The Pines
National Healthcare
99 Allen Street
Rutland
VT

Estimator wa, gb

Labor rate table 2016 AZ Lump Sum

Equipment rate table 2016 Equip Rates

Bid date 6/24/2016 5:00 PM

Report format Sorted by 'Bid Item/Area/Spec #/Phase'
'Detail' summary
Allocate addons
Combine items

Item	Description	Takeoff Qty	Total Amount
01 Base Project			
01 General Conditions			
01000 General Conditions			
1800.000	Project G.C.'s		
020	PM 32 wks x 20hrs	640.00 mh	64,982
020	PM - Resident Relocation / DHS Inspections (Coordination)	128.00 mh	12,996
020	PM 10 wks x 20hrs (Added Time for 10 Phases)	200.00 mh	20,307
030	Super 4 weeks x 8 phases	1,280.00 mh	137,609
030	Super - Resident Relocation / DHS Inspections (Coordination)	320.00 mh	34,402
030	Super 10 weeks x 40 hrs (Added Time for 10 Phases)	400.00 mh	43,003
035	Travel for PM	24.00 day	1,210
036	Perdiem including in rate	160.00 day	
050	Project Controls	320.00 mh	16,161
055	Project Engineering	160.00 mh	13,140
060	Estimator	120.00 mh	9,568
070	Scheduling	32.00 mh	3,106
075	Purchasing - Contracts	12.00 mh	755
090	Safety Coordinator	240.00 mh	19,710
	Project G.C.'s		376,951
	3,852.00 Labor hours		
1810.000	Civil G.C.'s		
390	Project Close-Out	64.00 mh	5,128
	Civil G.C.'s		5,128
	64.00 Labor hours		
	01000 General Conditions		382,078
	3,916.00 Labor hours		
01490 General Requirements			
1400.000	Safety Support		
410	Safety General Labor & Materials	32.00 mh	1,848
	Safety Support		1,848
	32.00 Labor hours		
1500.000	MOBILIZATION		
000	Mob./ Demob.	32.00 mh	1,848
014	Field Office / Furnishings	1.00 ls	1,777
020	Office Supplies & Equipment	10.00 mo	1,777
085	Temp Storage/Conex Boxes	10.00 mo	1,777
	MOBILIZATION		7,179
	32.00 Labor hours		
1600.000	Temp Const		
030	Weekly Cleaning/Housekeeping	500.00 mh	28,878
032	Dumpsters	8.00 pull	7,107
060	Project Signage	1.00 ls	1,398
070	Small Tools	1.00 ls	309



Standard Estimate Report
E15540 3rd & 4th Floors

Page 3
6/27/2016 4:33 PM

Item	Description	Takeoff Qty	Total Amount
	Temp Const		37,691
	516.00 Labor hours		
1700.000	Closeout		
045	Final Cleaning - Subcontract	8.00 ea	7,320
	Closeout		7,320
2012.200	DEMOLITION - TEMPORARY ENCLOSURES		
d 10	Temp. Hard Door	2.00 ls	3,365
d 10	Negative Air Equipment	8.00 ea	9,729
d 10	Finish Protection - Coverguard 40 mil	4,000.00 sf	10,046
d 10	HEPA Vac	160.00 dy	3,790
d 10	Tack Mats	8.00 ea	400
d 10	Temp. Encl.- Zip Wall (install & Remove)	540.00 lf	8,756
	DEMOLITION - TEMPORARY ENCLOSURES		36,086
	313.00 Labor hours		
	8.00 Equipment hours		
	01490 General Requirements		90,125
	893.00 Labor hours		
	8.00 Equipment hours		
	01 General Conditions		472,203
	4,809.00 Labor hours		
	8.00 Equipment hours		
	02 Patient Room Flooring		
	02050 Demolition		
2070.230	Demo- Flooring		
10	Demo Vinyl Floor Tile - NIC		
60	Demo Ceramic Tile Floor - NIC		
	02050 Demolition		0
	09000 Finishes		
9002.000	Finishes		
010	Floor Prep	12,826.00 sf	6,904
	Finishes		6,904
9650.100	Flooring- Resilient		
10	LVT	11,566.00 sf	90,270
10	Sheet Vinyl	1,260.00 sf	13,564
15	Vinyl Base	4,096.00 lf	11,024
	Flooring- Resilient		114,858
	09000 Finishes		121,762
	15400 Plumbing		
15401.400	Plumbing Fixtures		
015	Mech GC's	1.00 ls	1,460
015	Reinstall Water Closet	45.00 ea	5,234
015	Remove Water Closet	45.00 ea	2,956

6. The owner will provide and pay for utilities and utility company fees.
7. The owner will manage and pay for any related environmental testing and inspection for any hazardous material removal and abatement for ACM, lead, PCBs, contaminated soils, laboratory waste, etc.
8. A/Z will provide red-lined as-built drawings.
9. See attached estimate recap and attached documents for areas included in the various scopes.

Design, Engineering, & Specialty Consulting Services:

Our proposal assumes:

1. The owner has directly contracted with others for all but the MEP design. Specifically, will not completed a formal peer review of the provided project design documents for building code compliance, ADA compliance, design omissions, or the like. Our proposal assumes that the owner provided design and project documents are in compliance with all regulatory requirements, owner-specific requirements, and authorities having jurisdiction (AHJ). A/Z takes exception to “catch all” phrases within the contract or design documents; and more specifically do not accept general provision with “intent” unless specifically noted herein.

A/Z will provide MEP permit documents for the project.

2. The owner will provide and pay for any required third-party inspections.
3. Asbestos abatement included in any of the scope within this budget includes only the demolition and removal of contaminated ceiling tile. Asbestos-containing fire proofing material on the existing structure will remain. No encapsulation or remediation of this is included within the abatement proposals.

III. General Exclusions:

The following items are not included as part of this proposal at this time:

1. Repair or corrective action that may be required to address pre-existing building code or regulatory compliance deficiencies that are not specifically identified herein.
2. Any scheduled lost time or lost productivity due to constraints not identified within the proposal documents outside of A/Z's control. This includes but is not limited to, work disruption or interferences arising out of owner activities, work stoppages, changing site requirements, severe weather conditions, or the like.
3. Any work at the nourishment rooms and any finishes other than flooring at the dining rooms.





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Item	Description	Takeoff Qty	Total Amount
	Plumbing Fixtures		9,651
	112.500 Labor hours		
	15400 Plumbing		9,651
	112.500 Labor hours		
	02 Patient Room Flooring		131,413
	112.500 Labor hours		
	03 Patient Room Ceiling		
	01000 General Conditions		
1800.000	Project G.C.'s		
020	PM	128.00 mh	12,996
030	Super 2 weeks x 4 phases	320.00 mh	34,402
035	Travel for PM	16.00 day	807
036	Perdeim including in rate	8.00 day	
	Project G.C.'s		48,206
	448.00 Labor hours		
	01000 General Conditions		48,206
	448.00 Labor hours		
	01490 General Requirements		
1600.000	Temp Const		
030	Cleaning/Housekeeping	240.00 mh	13,861
	Temp Const		13,861
	240.00 Labor hours		
	01490 General Requirements		13,861
	240.00 Labor hours		
	02050 Demolition		
2005.100	Hazardous Waste		
05	Temp Enclosures for Haz Mat Abatement	8.00 ea	12,918
10	Remove Contaminated Ceiling Tile	12,826.00 sf	155,611
	Hazardous Waste		168,529
	02050 Demolition		168,529
	06000 Carpentry		
6002.050	Carpenter		
04	Misc Cleaning of Diffusers & Grilles	40.00 mh	2,310
	Carpenter		2,310
	40.00 Labor hours		
	06000 Carpentry		2,310
	40.00 Labor hours		
	09000 Finishes		
9510.400	Ceilings- Panels 2x4		
20	2 x 4 Ceiling Textured Tile	12,826.00 sf	36,655



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Item	Description	Takeoff Qty	Total Amount
	<i>Ceilings- Panels 2x4</i>		36,655
	213.77 Labor hours		
9910.100	<i>Painting</i>		
55	Paint Ceiling Grid	12,826.00 sf	13,808
	<i>Painting</i>		13,808
	<i>09000 Finishes</i>		50,462
	213.77 Labor hours		
	<i>10000 Specialties</i>		
10920.200	<i>Misc Specialties</i>		
10	Remove/Reinstall Cubicle Curtain Tracks	2,180.00 lf	6,941
	<i>Misc Specialties</i>		6,941
	109.00 Labor hours		
	<i>10000 Specialties</i>		6,941
	109.00 Labor hours		
	03 Patient Room Ceiling		290,309
	1,050.77 Labor hours		
	04 Patient Room Wall Finishes		
	<i>02050 Demolition</i>		
2010.001	<i>Demolition</i>		
25	Demolition Dumpsters	8.00 ea	7,107
	<i>Demolition</i>		7,107
2070.250	<i>Demo- Items</i>		
18	Remove Various Wall Finishes	35,570.00 sf	25,413
	<i>Demo- Items</i>		25,413
	440.005 Labor hours		
2070.440	<i>Demo- Millwork</i>		
12	Demo Wardrobes	84.00 ea	2,426
12	Demo Millwork at 4 Bed Rooms	32.00 lf	924
	<i>Demo- Millwork</i>		3,350
	58.00 Labor hours		
	<i>02050 Demolition</i>		35,870
	498.005 Labor hours		
	<i>06000 Carpentry</i>		
6002.050	<i>Carpenter</i>		
04	Remove & Reinstall Wall Mounted Items	320.00 mh	18,482
04	Remove & Reinstall Door for Refinishing	84.00 ea	29,606
	<i>Carpenter</i>		48,087
	823.99 Labor hours		
	<i>06000 Carpentry</i>		48,087
	823.99 Labor hours		
	<i>07000 Thermal & Moisture Protection</i>		



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Item	Description	Takeoff Qty	Total Amount
7920.100	Caulking		
10	Caulking Labor & Material	80.00 mh	5,714
	Caulking		5,714
	80.00 Labor hours		
	07000 Thermal & Moisture Protection		5,714
	80.00 Labor hours		
	08000 Doors & Windows		
8710.100	Hardware by Item		
80	Hardware Coordination for Painting of Existing Doors	84.00 ea	5,303
	Hardware by Item		5,303
	84.00 Labor hours		
	08000 Doors & Windows		5,303
	84.00 Labor hours		
	09000 Finishes		
9002.000	Finishes		
200	Wall Prep	35,570.00 sf	11,488
	Finishes		11,488
9910.100	Painting		
12	Paint Door & Frame	84.00 ea	12,208
30	Paint Walls	28,280.00 sf	21,311
	Painting		33,519
9950.110	Wall Covering		
10	Vinyl Wall Covering at Headwalls	7,690.00 sf	21,938
	Wall Covering		21,938
	09000 Finishes		66,944
	10000 Specialties		
10260.100	Corner Guards		
21	Corner Guards Plastic 2x2	192.00 ea	5,629
	Corner Guards		5,629
	38.40 Labor hours		
10261.100	Wall Guards & Rail		
10	Inpro Bed Locator - Not Included		
10810.200	Toilet Accessories		
190	New Mirror at Restroom	42.00 ea	6,188
	Toilet Accessories		6,188
	21.00 Labor hours		
	10000 Specialties		11,817
	59.40 Labor hours		
	04 Patient Room Wall Finishes		173,735
	1,545.395 Labor hours		



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Item	Description	Takeoff Qty	Total Amount
06 Patient Room Lighting			
02050 Demolition			
2010.001	Demolition		
25	Demolition Dumpsters	1.00 ea	888
	Demolition		888
	02050 Demolition		888
	16000 Electrical		
16000.001	Electrical GC's		
165	Elec LOTO	86.00 ea	6,057
	Electrical GC's		6,057
	86.00 Labor hours		
16100.000	Electrical Demo		
10	Demolition	86.00 mh	5,547
	Electrical Demo		5,547
	86.00 Labor hours		
16601.110	Flur Fixture Surface		
50	Bed Light	86.00 ea	42,311
50	Sconce	46.00 ea	17,183
	Flur Fixture Surface		59,494
	158.400 Labor hours		
	16000 Electrical		71,098
	330.40 Labor hours		
	06 Patient Room Lighting		71,986
	330.40 Labor hours		
07 Patient Room Emergency Outlets			
02050 Demolition			
2070.250	Demo- Items		
14	Open & Patch Wall - Sheetrock	86.00 ea	15,027
	Demo- Items		15,027
	172.00 Labor hours		
	02050 Demolition		15,027
	172.00 Labor hours		
	16000 Electrical		
16027.101	EMT Conduit		
07	EMT 3/4"	574.00 lf	5,448
25	EMT 2-1/2"	80.00 lf	1,277
	EMT Conduit		6,725
	96.36 Labor hours		
16027.121	EMT Steel S/Srw Conn		
07	Steel EMT Set Screw Connectors 3/4"	17.00 ea	68



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Item	Description	Takeoff Qty		Total	
				Amount	
16027.121	EMT Steel S/Srw Conn				
	25 Steel EMT Set Screw Connectors 2-1/2"	8.00	ea		181
	EMT Steel S/Srw Conn				249
	2.13 Labor hours				
16027.123	EMT Steel S/Srw Coupling				
	07 Steel EMT Set Screw Coupling 3/4"	58.00	ea		158
	25 Steel EMT Set Screw Coupling 2-1/2"	8.00	ea		136
	EMT Steel S/Srw Coupling				294
	2.78 Labor hours				
16027.155	U-Channel EMT Clamps				
	07 EMT U-Channel Clamp 3/4"	74.00	ea		354
	22 EMT U-Channel Clamp 2-1/2"	12.00	ea		107
	U-Channel EMT Clamps				461
	3.92 Labor hours				
16027.170	EMT S/Screw Condulet				
lb07	EMT Type LB Set Screw Condulet 3/4"	17.00	ea		386
lb25	EMT Type LB Set Screw Condulet 2-1/2"	4.00	ea		542
	EMT S/Screw Condulet				929
	5.40 Labor hours				
16027.172	EMT Condulet Covers				
t07	EMT Condulet Cover 3/4"	17.00	ea		124
t25	EMT Condulet Cover 2-1/2"	4.00	ea		69
	EMT Condulet Covers				192
	1.84 Labor hours				
16032.604	4" Sq Box Side Mount				
	521 2-1/8" 4" Square Side Mounting Bracket Outlet Box Comb	9.00	ea		602
	4" Sq Box Side Mount				602
	9.00 Labor hours				
16032.611	4" Sq Box Rings 1G Device				
	611 4" 1 Gang Device Ring 4" Square 5/8" Rise	2.00	ea		7
	4" Sq Box Rings 1G Device				7
	0.10 Labor hours				
16034.100	N1 Screw Cover Pull Boxes				
	120 Pull Box NEMA 1 12x 12 x6	2.00	ea		568
	N1 Screw Cover Pull Boxes				568
	8.00 Labor hours				
16351.005	Power Panel 240v N1				
cb 1	100a MCB Panelboard 240v NEMA 1	2.00	ea		4,707
	Power Panel 240v N1				4,707
	48.000 Labor hours				
16401.112	CU Wire THHN-THWN Strand				
# 6	Copper Wire THHN-THWN Stranded # 6	80.00	lf		119
#12	Copper Wire THHN-THWN Stranded #12	40.00	lf		33
#3/0	Copper Wire THHN-THWN Stranded #3/0	320.00	lf		1,609
	CU Wire THHN-THWN Strand				1,760
	8.56 Labor hours				
16401.416	Steel MC -Solid w/Grd				
12/2	Steel MC Solid Wire w/Ground #12/2	2,580.00	lf		6,472

Item	Description	Takeoff Qty	Total Amount
	Steel MC -Solid w/Grd 77.400 Labor hours		6,472
16401.432 s 38	MC Connectors Sgl Die Cast MC Connector 3/8" MC Connectors 5.16 Labor hours	86.00 ea	359 359
16702.262 duiv	Recp Hosp 20a-125v Hospital Grade Receptacle Duplex Ivory 20/125 Recp Hosp 20a-125v 25.37 Labor hours	86.00 ea	3,344 3,344
16703.164 dr1g	Plate SS 302 Stainless Steel Plate 302 1G Dup Rec Plate SS 302 4.30 Labor hours	86.00 ea	373 373
	16000 Electrical 298.320 Labor hours		27,042
	07 Patient Room Emergency Outlets 470.320 Labor hours		42,070
	08 Patient Room TV Outlets & Brackets - Based on 43ea		
	02050 Demolition		
2070.250	Demo- Items 14 Open & Patch Wall - Sheetrock Demo- Items 86.00 Labor hours	43.00 ea	7,514 7,514
	02050 Demolition 86.00 Labor hours		7,514
	06000 Carpentry		
6116.120	Blocking 26 Blocking for TVs Blocking 86.00 Labor hours	43.00 ea	5,512 5,512
	06000 Carpentry 86.00 Labor hours		5,512
	10000 Specialties		
10920.200	Misc Specialties 10 TV Brackets Misc Specialties 21.50 Labor hours	43.00 ea	5,062 5,062
	10000 Specialties 21.50 Labor hours		5,062
	16000 Electrical		

Item	Description	Takeoff Qty	Total Amount
16032.600	4" Sq Box Outlet Boxes		
503	1-1/2" 4" Square Outlet Box 3/4 KO	43.00 ea	333
	4" Sq Box Outlet Boxes		333
	4.30 Labor hours		
16032.611	4" Sq Box Rings 1G Device		
611	4" 1 Gang Device Ring 4" Square 5/8" Rise	43.00 ea	156
	4" Sq Box Rings 1G Device		156
	2.15 Labor hours		
16036.218	Wire Access		
108	Tie-Rap Ties	258.00 ea	221
	Wire Access		221
	2.58 Labor hours		
16405.444	MATV Cable		
59u	MATV Cable RG - 59/U	1,550.00 lf	1,083
	MATV Cable		1,083
	12.40 Labor hours		
16801.300	CATV Systems		
401	MATV Receptacle	43.00 ea	962
408	MATV Splitter	43.00 ea	661
412	MATV Wire Terms	43.00 ea	353
	CATV Systems		1,975
	17.20 Labor hours		
	16000 Electrical		3,769
	38.63 Labor hours		
	08 Patient Room TV Outlets & Brackets -		21,856
	Based on 43ea		
	232.130 Labor hours		
	09 Corridor Flooring		
	02050 Demolition		
2070.230	Demo- Flooring		
10	Demo Vinyl Floor Tile - NIC		
10	Demo Base	820.00 lf	947
	Demo- Flooring		947
	16.40 Labor hours		
	02050 Demolition		947
	16.40 Labor hours		
	09000 Finishes		
9002.000	Finishes		
010	Floor Prep	3,040.00 sf	982
	Finishes		982
9600.100	Flooring- Marble		
10	Marble Thresholds @ Existing Showers	8.00 ea	3,445



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Item	Description	Takeoff Qty	Total	
			Amount	
9680.110	Flooring- Marble			3,445
	8.00 Labor hours			
	Carpet			
	10 Carpet with Carpet Base	340.00 sy		16,471
	Carpet			16,471
	09000 Finishes			20,898
	8.00 Labor hours			
	09 Corridor Flooring			21,845
	24.40 Labor hours			
	10 Corridor Ceilings			
02050 Demolition				
2005.100	Hazardous Waste			
	05 Temp Enclosures for Haz Mat Abatement	1.00 ls		8,074
	10 Remove Contaminated Ceiling Tile	6,080.00 sf		73,765
	Hazardous Waste			81,839
	02050 Demolition			81,839
06000 Carpentry				
6002.050	Carpenter			
	04 Misc Cleaning of Diffusers & Grilles	16.00 mh		924
	Carpenter			924
	16.00 Labor hours			
	06000 Carpentry			924
16.00 Labor hours				
09000 Finishes				
9510.400	Ceilings- Panels 2x4			
	20 2 x 4 Ceiling Textured Tile	6,080.00 sf		17,379
	Ceilings- Panels 2x4			17,379
101.391 Labor hours				
9910.100	Painting			
	55 Paint Ceiling Grid	6,080.00 sf		6,545
	Painting			6,545
	09000 Finishes			23,924
	101.391 Labor hours			
	10 Corridor Ceilings			106,688
117.391 Labor hours				
11 Corridor Wall Finishes				
02050 Demolition				
2010.001	Demolition			
	25 Demolition Dumpsters	2.00 ea		1,777

Item	Description	Takeoff Qty	Total Amount
	<i>Demolition</i>		1,777
2070.220	<i>Demo- Walls</i>		
	10 Demo Vinyl Wall Covering	5,280.00 sf	3,772
	<i>Demo- Walls</i>		3,772
	65.314 Labor hours		
2070.250	<i>Demo- Items</i>		
	18 Remove Various Wall Finishes	2,720.00 sf	1,943
	<i>Demo- Items</i>		1,943
	33.65 Labor hours		
	<i>02050 Demolition</i>		7,492
	98.961 Labor hours		
	<i>06000 Carpentry</i>		
6002.050	<i>Carpenter</i>		
	04 Remove & Reinstall Wall Mounted Items	32.00 mh	1,848
	04 Remove & Reinstall Door for Refinishing	20.00 ea	7,049
	<i>Carpenter</i>		8,897
	152.00 Labor hours		
	<i>06000 Carpentry</i>		8,897
	152.00 Labor hours		
	<i>07000 Thermal & Moisture Protection</i>		
7920.100	<i>Caulking</i>		
	10 Caulking Labor & Material	16.00 mh	1,143
	<i>Caulking</i>		1,143
	16.00 Labor hours		
	<i>07000 Thermal & Moisture Protection</i>		1,143
	16.00 Labor hours		
	<i>08000 Doors & Windows</i>		
8710.100	<i>Hardware by Item</i>		
	80 Hardware Coordination for Painting of Existing Doors	20.00 ea	1,263
	<i>Hardware by Item</i>		1,263
	20.00 Labor hours		
	<i>08000 Doors & Windows</i>		1,263
	20.00 Labor hours		
	<i>09000 Finishes</i>		
9002.000	<i>Finishes</i>		
	200 Wall Prep	8,000.00 sf	2,584
	<i>Finishes</i>		2,584
9910.100	<i>Painting</i>		
	12 Paint Door & Frame	20.00 ea	2,907
	30 Paint Walls Below Rail	2,720.00 sf	2,050
	<i>Painting</i>		4,956
9950.110	<i>Wall Covering</i>		
	10 Vinyl Wall Covering Above Rail	5,280.00 sf	15,063

Item	Description	Takeoff Qty	Total Amount
	Wall Covering		15,063
	09000 Finishes		22,603
	10000 Specialties		
10260.100	Corner Guards		
21	Corner Guards Plastic 2x2	22.00 ea	645
	Corner Guards		645
	4.40 Labor hours		
	10000 Specialties		645
	4.40 Labor hours		
	11 Corridor Wall Finishes		42,043
	291.36 Labor hours		
	12 Corridor Handrails		
	10000 Specialties		
10261.100	Wall Guards & Rail		
60	Modify Existing Handrails	520.00 lf	9,163
	Wall Guards & Rail		9,163
	52.00 Labor hours		
	10000 Specialties		9,163
	52.00 Labor hours		
	12 Corridor Handrails		9,163
	52.00 Labor hours		
	13 Corridor Lighting - Recessed		
	02050 Demolition		
2010.001	Demolition		
25	Demolition Dumpsters	1.00 ea	888
	Demolition		888
	02050 Demolition		888
	16000 Electrical		
16000.001	Electrical GC's		
165	Elec LOTO	48.00 ea	3,381
	Electrical GC's		3,381
	48.00 Labor hours		
16100.000	Electrical Demo		
10	Demolition	48.00 mh	3,096
	Electrical Demo		3,096
	48.00 Labor hours		
16601.110	Flur Fixture Surface		
2-2	2 Lamp 2' Recessed Fluorescent Fixture	48.00 ea	14,515

Item	Description	Takeoff Qty	Total	
			Amount	
	<i>Flur Fixture Surface</i>			14,515
	31.111 Labor hours			
	<i>16000 Electrical</i>			20,992
	127.111 Labor hours			
	13 Corridor Lighting - Recessed			21,881
	127.111 Labor hours			
	14 Oxygen Room			
	<i>02050 Demolition</i>			
2005.100	<i>Hazardous Waste</i>			
	05 Temp Enclosures for Haz Mat Abatement	2.00 ea		3,230
	10 Asbestos Abatement at New Walls to Deck	2.00 ea		5,383
	<i>Hazardous Waste</i>			8,612
2010.001	<i>Demolition</i>			
	25 Demolition Dumpsters	1.00 ea		888
	<i>Demolition</i>			888
2070.130	<i>DEMOLITION - CORE BORE</i>			
	120 Penetration for Exhaust	2.00 ea		462
	<i>DEMOLITION - CORE BORE</i>			462
	8.00 Labor hours			
	8.00 Equipment hours			
2070.230	<i>Demo- Flooring</i>			
	10 Demo Vinyl Floor Tile	36.00 sf		54
	<i>Demo- Flooring</i>			54
	0.554 Labor hours			
	36.00 Equipment hours			
2070.240	<i>Demo- Ceilings</i>			
	10 Demo Ceiling Tile & Grid	36.00 sf		437
	<i>Demo- Ceilings</i>			437
	<i>02050 Demolition</i>			10,454
	8.554 Labor hours			
	44.00 Equipment hours			
	<i>05000 Str. & Misc. Metals</i>			
5560.100	<i>Misc Steel</i>			
	05 Misc Metals at Floor & Roof for Exhaust	1.00 ea		3,768
	<i>Misc Steel</i>			3,768
	<i>05000 Str. & Misc. Metals</i>			3,768
	<i>07000 Thermal & Moisture Protection</i>			
7250.100	<i>Fireproofing</i>			
	05 Fire Caulking - Labor	4.00 mh		302
	<i>Fireproofing</i>			302
	4.00 Labor hours			
7310.100	<i>Roofing</i>			
	05 Roofing Flash Patch for Exhaust	1.00 ls		3,230



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Item	Description	Takeoff Qty	Total Amount
	Roofing		3,230
7920.100	Caulking		
10	Caulking Labor & Material	4.00 mh	286
	Caulking		286
	4.00 Labor hours		
	07000 Thermal & Moisture Protection		3,817
	8.00 Labor hours		
	08000 Doors & Windows		
8100.100	Doors- Hol Metal		
10	Door, Frame & Hardware	2.00 lvs	4,478
	Doors- Hol Metal		4,478
	16.00 Labor hours		
	08000 Doors & Windows		4,478
	16.00 Labor hours		
	09000 Finishes		
9010.000	Drywall		
001	Extend Existing Walls to Deck	90.00 sf	1,368
002	New Walls to Deck	210.00 sf	2,519
	Drywall		3,887
	55.00 Labor hours		
9500.010	Ceilings		
30	Ceiling	30.00 sf	388
30	Ceiling Modify at New Walls	30.00 sf	78
	Ceilings		466
	0.86 Labor hours		
9910.100	Painting		
12	Paint Door & Frame	2.00 ea	291
30	Paint Walls	400.00 sf	301
	Painting		592
	09000 Finishes		4,945
	55.86 Labor hours		
	10000 Specialties		
10260.100	Corner Guards		
21	Corner Guards Plastic 2x2	2.00 ea	59
	Corner Guards		59
	0.40 Labor hours		
	10000 Specialties		59
	0.40 Labor hours		
	15500 HVAC		
1820.000	Mechanical G.C.'s		
480	Mech GC;'s	1.00 ls	3,530
480	Mech Crane/Hoist (Exhaust fans)	1.00 ls	2,368



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Item	Description	Takeoff Qty		Total
				Amount
	Mechanical G.C.'s			5,898
15862.000	Ductwork			
-sub	Ductwork (Exhaust Fans, Fire Damper & Ductwork)	1.00	ls	6,459
	Ductwork			6,459
15873.000	Test/Balance - Air System			
-sub	Air Balancing & Oxy storage Verification - Sub	1.00	ls	2,153
	Test/Balance - Air System			2,153
	15500 HVAC			14,510
	16000 Electrical			
16000.001	Electrical GC's			
165	Elec LOTO	2.00	ea	141
	Electrical GC's			141
	2.00 Labor hours			
16032.604	4" Sq Box Side Mount			
521	2-1/8" 4" Square Side Mounting Bracket Outlet Box Comb	4.00	ea	46
	4" Sq Box Side Mount			46
	0.56 Labor hours			
16032.611	4" Sq Box Rings 1G Device			
610	4" 1 Gang Device Ring 4" Square 1/2" Rise	2.00	ea	7
611	4" 1 Gang Device Ring 4" Square 5/8" Rise	2.00	ea	7
	4" Sq Box Rings 1G Device			15
	0.20 Labor hours			
16100.000	Electrical Demo			
10	Demolition	2.00	mh	129
	Electrical Demo			129
	2.00 Labor hours			
16401.416	Steel MC -Solid w/Grd			
12/2	Steel MC Solid Wire w/Ground #12/2	80.00	lf	175
	Steel MC -Solid w/Grd			175
	2.00 Labor hours			
16401.432	MC Connectors			
s 38	Sgl Die Cast MC Connector 3/8"	8.00	ea	33
	MC Connectors			33
	0.48 Labor hours			
16601.110	Flur Fixture Surface			
2-2	1 Lamp 18" Surface Fluorescent Fixture	2.00	ea	271
	Flur Fixture Surface			271
	2.00 Labor hours			
16701.025	Occupancy Switch			
010	Wall Occupancy sensor	2.00	ea	192
	Occupancy Switch			192
	1.00 Labor hours			
16703.164	Plate SS 302			
sw1g	Stainless Steel Plate 302 1G Switch	2.00	ea	10

Item	Description	Takeoff Qty				Total
						Amount
	Plate SS 302					10
	0.12 Labor hours					
	16000 Electrical					1,012
	10.36 Labor hours					
	14 Oxygen Room					43,042
	99.171 Labor hours					
	44.00 Equipment hours					
	16 Nurse Call Vendor Quote					
	16000 Electrical					
16801.500	Nurse Call Systems					
600	Nurse Call Quote	1.00	Is			75,308
	Nurse Call Systems					75,308
	16000 Electrical					75,308
	16 Nurse Call Vendor Quote					75,308
	21 Bathing Suite					
	01490 General Requirements					
2012.200	DEMOLITION - TEMPORARY ENCLOSURES					
d 10	Negative Air Equipment & Temp Wall/Door	2.00	ea			4,125
d 10	Tack Mats	2.00	ea			100
	DEMOLITION - TEMPORARY ENCLOSURES					4,225
	48.500 Labor hours					
	2.00 Equipment hours					
	01490 General Requirements					4,225
	48.500 Labor hours					
	2.00 Equipment hours					
	02050 Demolition					
2005.100	Hazardous Waste					
10	Remove Contaminated Ceiling Tile	520.00	sf			6,309
	Hazardous Waste					6,309
2010.001	Demolition					
25	Demolition Dumpsters	3.00	ea			2,665
	Demolition					2,665
2070.230	Demo- Flooring					
60	Demo Flooring	500.00	sf			950
	Demo- Flooring					950
	11.111 Labor hours					
	500.00 Equipment hours					
2070.250	Demo- Items					
18	Remove Various Wall Finishes	2,034.00	sf			1,453



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Item	Description	Takeoff Qty	Total Amount
	Demo- Items		1,453
	25.161 Labor hours		
	02050 Demolition		11,378
	36.272 Labor hours		
	500.00 Equipment hours		
	06000 Carpentry		
6002.050	Carpenter		
04	Misc Cleaning of Diffusers & Grilles	8.00 mh	462
04	Remove & Reinstall Wall Mounted Items	16.00 mh	924
04	Remove & Reinstall Door for Refinishing	12.00 ea	4,229
	Carpenter		5,615
	96.00 Labor hours		
	06000 Carpentry		5,615
	96.00 Labor hours		
	07000 Thermal & Moisture Protection		
7920.100	Caulking		
10	Caulking Labor & Material	4.00 mh	286
	Caulking		286
	4.00 Labor hours		
	07000 Thermal & Moisture Protection		286
	4.00 Labor hours		
	09000 Finishes		
9002.000	Finishes		
200	Wall Prep	2,100.00 sf	678
	Finishes		678
9315.100	Tile- Ceramic		
10	Floor Tile with Waterproof	226.00 sf	4,379
15	Tile Base	120.00 lf	1,550
	Tile- Ceramic		5,930
9650.100	Flooring- Resilient		
10	Standard VCT Tile	250.00 sf	902
15	Vinyl Base	120.00 lf	323
	Flooring- Resilient		1,225
9910.100	Painting		
12	Paint Door & Frame	12.00 ea	1,744
30	Paint Walls	2,000.00 sf	1,507
55	New Ceiling Tile & Grid at Showers	520.00 sf	2,519
55	Paint Ceiling Tile & Grid at Toilet & Tub	400.00 sf	1,938
	Painting		7,708
	09000 Finishes		15,540
	10000 Specialties		
10810.200	Toilet Accessories		
190	New Mirror at Restroom	1.00 ea	147

Item	Description	Takeoff Qty	Total Amount
	<i>Toilet Accessories</i>		147
	0.50 Labor hours		
10920.200	<i>Misc Specialties</i>		
10	Remove/Reinstall Cubicle Curtain Tracks	20.00 lf	139
	<i>Misc Specialties</i>		139
	2.00 Labor hours		
	<i>10000 Specialties</i>		287
	2.50 Labor hours		
	15400 Plumbing		
15401.400	<i>Plumbing Fixtures</i>		
015	Repair/Reset Floor Drains	8.00 ea	5,049
	<i>Plumbing Fixtures</i>		5,049
	48.000 Labor hours		
	15400 Plumbing		5,049
	48.000 Labor hours		
	16000 Electrical		
16601.110	<i>Flur Fixture Surface</i>		
2-2	2 Lamp 2' Recessed Fluorescent Fixture	12.00 ea	3,629
	<i>Flur Fixture Surface</i>		3,629
	7.78 Labor hours		
	16000 Electrical		3,629
	7.78 Labor hours		
	21 Bathing Suite		46,008
	243.05 Labor hours		
	502.00 Equipment hours		
	24 Wall Construction at 4 Bed Rooms		
	07000 Thermal & Moisture Protection		
7920.100	<i>Caulking</i>		
10	Caulking Labor & Material	4.00 mh	286
	<i>Caulking</i>		286
	4.00 Labor hours		
	07000 Thermal & Moisture Protection		286
	4.00 Labor hours		
	09000 Finishes		
9010.000	<i>Drywall</i>		
002	New Walls to Ceiling	900.00 sf	10,795
	<i>Drywall</i>		10,795
	150.00 Labor hours		
9910.100	<i>Painting</i>		
30	Paint Walls	1,800.00 sf	1,356



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Item	Description	Takeoff Qty	Total Amount
	Painting		1,356
	09000 Finishes		12,152
	150.00 Labor hours		
	24 Wall Construction at 4 Bed Rooms		12,438
	154.00 Labor hours		
	26 New Therapy Tub		
	02050 Demolition		
2070.250	Demo- Items		
14	Open & Patch Wall - Sheetrock	2.00 ea	350
	Demo- Items		350
	4.00 Labor hours		
	02050 Demolition		350
	4.00 Labor hours		
	09000 Finishes		
9315.100	Tile- Ceramic		
15	Provide New Cementboard at Wall Tile	100.00 sf	1,279
15	Wall Tile 5' Wainscot at Tub Wet Wall	100.00 sf	1,292
	Tile- Ceramic		2,571
	16.00 Labor hours		
	09000 Finishes		2,571
	16.00 Labor hours		
	15400 Plumbing		
15005.000	Gen. Labor, Mat & Testing		
240	Tub DEMO	16.00 mh	1,145
240	Med Room Sink/Eyewash	0.00 NIC	
	Gen. Labor, Mat & Testing		1,145
	16.00 Labor hours		
15031.601	No-Hub Pipe		
2	No-Hub Pipe 2"	40.00 lf	490
	No-Hub Pipe		490
	3.84 Labor hours		
15031.602	No-Hub Couplings		
2	No-Hub Coupling Assy 2	24.00 ea	451
	No-Hub Couplings		451
	4.80 Labor hours		
15031.613	No-Hub 45 Ell		
2	No-Hub 45 Ell 2	4.00 ea	100
	No-Hub 45 Ell		100
	1.22 Labor hours		
15031.614	No-Hub 90 Ell		
2	No-Hub 90 Ell 2	8.00 ea	211



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Item	Description	Takeoff Qty		Total	
				Amount	
	No-Hub 90 Ell				211
	2.50 Labor hours				
15040.102	Copper Tube - Hard				
I 05	Copper Tube Hard "L" 1/2	60.00	If		356
	Copper Tube - Hard				356
	2.88 Labor hours				
15040.113	Wrot Cop 45~ ell				
05	Wrot 45~ Ell CxC 1/2	12.00	ea		286
	Wrot Cop 45~ ell				286
	4.224 Labor hours				
15040.114	Wrot Cop 90~ ell				
05	Wrot 90~ Ell CxC 1/2	20.00	ea		474
	Wrot Cop 90~ ell				474
	7.04 Labor hours				
15040.120	Wrot Cop Tee				
05	Wrot Tee CxCxC 1/2	4.00	ea		136
	Wrot Cop Tee				136
	2.02 Labor hours				
15040.162	Wrot Adapter Male				
b 05	Wrot Adapter CxM 1/2	4.00	ea		55
	Wrot Adapter Male				55
	0.77 Labor hours				
15103.200	Valves - Ball				
a05	Ball Valve Swt 1/2"	4.00	ea		186
	Valves - Ball				186
	1.96 Labor hours				
15144.107	Hanger Assembly				
b 20	Hanger Assembly 2"	5.00	ea		214
c 20	Hanger Assembly w/Shield 2"	8.00	ea		361
	Hanger Assembly				575
	6.50 Labor hours				
15401.400	Plumbing Fixtures				
090	New Therapy Tub	2.00	ea		29,651
	Plumbing Fixtures				29,651
	15.00 Labor hours				
15600.002	Pipe Insulation				
a 07	PLBG Pipe Insulation (Plumbers to insulate)	60.00	If		605
	Pipe Insulation				605
	5.40 Labor hours				
	15400 Plumbing				34,721
	74.140 Labor hours				
	26 New Therapy Tub				37,642
	94.14 Labor hours				

27 Rigid Panels at Door

10000 Specialties

10261.100	Wall Guards & Rail				
20	Rigid Door Panels	64.00	ea		5,639

Item	Description	Takeoff Qty	Total Amount
	Wall Guards & Rail		
	32.00 Labor hours		5,639
	10000 Specialties		5,639
	32.00 Labor hours		
	27 Rigid Panels at Door		5,639
	32.00 Labor hours		
	30 Rigid Wallcovering at Corridor		
	09000 Finishes		
9910.100	Painting		
30	Paint Walls Below Rail	-2,720.00 sf	(2,050)
	Painting		(2,050)
	09000 Finishes		(2,050)
	10000 Specialties		
10261.100	Wall Guards & Rail		
60	Rigid Wallcovering Below Handrail	2,720.00 sf	64,419
	Wall Guards & Rail		64,419
	10000 Specialties		64,419
	30 Rigid Wallcovering at Corridor		62,370
	31 Nurses Stations & Med Room		
	01490 General Requirements		
2012.200	DEMOLITION - TEMPORARY ENCLOSURES		
d 10	Negative Air Equipment & Temp Wall/Door	2.00 ea	4,125
d 10	Tack Mats	2.00 ea	100
	DEMOLITION - TEMPORARY ENCLOSURES		4,226
	48.500 Labor hours		
	2.00 Equipment hours		
	01490 General Requirements		4,226
	48.500 Labor hours		
	2.00 Equipment hours		
	02050 Demolition		
2005.100	Hazardous Waste		
10	Asbestos Abatement to Allow Partitions to Extend to Deck	2.00 ea	6,459
	Hazardous Waste		6,459
2070.250	Demo- Items		
22	Demo Nurses Station	2.00 ea	1,195



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Item	Description	Takeoff Qty		Total
				Amount
	Demo- Items			1,195
	20.683 Labor hours			
	02050 Demolition			7,654
	20.683 Labor hours			
	06000 Carpentry			
6200.100	Finish Carpentry			
020	Millwork for Nurses Stations	2.00	ea	25,837
020	Millwork for Med Room	2.00	ea	17,224
	Finish Carpentry			43,061
	06000 Carpentry			43,061
	08000 Doors & Windows			
8100.100	Doors- Hol Metal			
10	Door, Frame & Hardware	2.00	lvs	4,478
	Doors- Hol Metal			4,478
	16.00 Labor hours			
	08000 Doors & Windows			4,478
	16.00 Labor hours			
	09000 Finishes			
9010.000	Drywall			
002	Extend Walls to Deck	2.00	ea	6,019
002	Nurses Station Soffit	2.00	ea	3,269
	Drywall			9,289
	144.42 Labor hours			
9650.100	Flooring- Resilient			
10	Flooring & Base at Nurses Station	2.00	ea	1,292
	Flooring- Resilient			1,292
9910.100	Painting			
55	Patch & Paint at Nurses Stations	2.00	ea	1,722
55	New Ceiling Tile & Grid	528.00	sf	2,473
	Painting			4,195
	09000 Finishes			14,775
	144.42 Labor hours			
	16000 Electrical			
16000.001	Electrical GC's			
165	Wiring at Nurses Stations	2.00	ea	6,345
165	Temp Nurse Call Work	2.00	ea	4,839
165	Lighting at Nurses Stations	16.00	ea	6,234
	Electrical GC's			17,418
	176.00 Labor hours			
	16000 Electrical			17,418
	176.00 Labor hours			



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Item	Description	Takeoff Qty	Total Amount
31 Nurses Stations & Med Room			91,611
	405.601 Labor hours		
	2.00 Equipment hours		
32 New Floor & Base at Dining Rooms			
<i>01490 General Requirements</i>			
2012.200	DEMOLITION - TEMPORARY ENCLOSURES		
d 10	Negative Air Equipment & Temp Plastic Barrier	2.00 ea	1,815
d 10	Tack Mats	2.00 ea	100
	DEMOLITION - TEMPORARY ENCLOSURES		1,915
	8.50 Labor hours		
	2.00 Equipment hours		
	<i>01490 General Requirements</i>		1,915
	8.50 Labor hours		
	2.00 Equipment hours		
<i>02050 Demolition</i>			
2070.230	Demo- Flooring		
10	Demo Vinyl Floor Tile - NIC		
10	Demo Base	720.00 lf	832
	Demo- Flooring		832
	14.40 Labor hours		
	<i>02050 Demolition</i>		832
	14.40 Labor hours		
<i>09000 Finishes</i>			
9002.000	Finishes		
010	Floor Prep	2,400.00 sf	775
	Finishes		775
9680.110	Carpet		
10	Vinyl Plank Flooring	2,400.00 sf	23,253
10	Base	720.00 lf	1,938
	Carpet		25,191
	<i>09000 Finishes</i>		25,966
32 New Floor & Base at Dining Rooms			28,713
	22.90 Labor hours		
	2.00 Equipment hours		
33 Nourishment Stations			
<i>01490 General Requirements</i>			
2012.200	DEMOLITION - TEMPORARY ENCLOSURES		
d 10	Negative Air Equipment & Temp Wall/Door	2.00 ea	4,718
d 10	Tack Mats	2.00 ea	100



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Item	Description	Takeoff Qty	Total Amount
	DEMOLITION - TEMPORARY ENCLOSURES		4,817
	48.500 Labor hours		
	2.00 Equipment hours		
	01490 General Requirements		4,817
	48.500 Labor hours		
	2.00 Equipment hours		
	02050 Demolition		
2005.100	Hazardous Waste		
10	Remove Contaminated Ceiling Tile	252.00 sf	3,057
10	Asbestos Abatement to Allow Partitions to Extend to Deck	2.00 ea	6,459
	Hazardous Waste		9,517
2010.001	Demolition		
25	Demolition Dumpsters	1.00 ea	888
	Demolition		888
2070.230	Demo- Flooring		
60	Demo Flooring	252.00 sf	849
	Demo- Flooring		849
	12.00 Labor hours		
	252.00 Equipment hours		
2070.250	Demo- Items		
18	Remove Various Wall Finishes	2.00 rm	231
22	Demo Nourishment Station	2.00 rm	1,848
	Demo- Items		2,079
	36.00 Labor hours		
	02050 Demolition		13,333
	48.00 Labor hours		
	252.00 Equipment hours		
	06000 Carpentry		
6200.100	Finish Carpentry		
020	Nourishment Station Millwork	2.00 ea	13,995
	Finish Carpentry		13,995
	06000 Carpentry		13,995
	09000 Finishes		
9010.000	Drywall		
002	Extend Walls to Deck & Wall Infills	2.00 ea	7,758
	Drywall		7,758
	119.98 Labor hours		
9650.100	Flooring- Resilient		
10	Flooring & Base at Nourishment Stations	2.00 ea	1,292
	Flooring- Resilient		1,292
9910.100	Painting		
55	Patch & Paint at Nourishment Stations	2.00 ea	2,153
55	New Ceiling Tile & Grid	252.00 sf	1,180



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Item	Description	Takeoff Qty	Total Amount
	Painting		3,333
	09000 Finishes		12,383
	119.98 Labor hours		
	15400 Plumbing		
15401.400	Plumbing Fixtures		
015	Plbg Demo	2.00 ea	1,525
015	Sink & Eyewash	2.00 ea	10,571
	Plumbing Fixtures		12,096
	112.000 Labor hours		
	15400 Plumbing		12,096
	112.000 Labor hours		
	16000 Electrical		
16000.001	Electrical GC's		
165	Electrical	2.00 ea	6,498
	Electrical GC's		6,498
	64.00 Labor hours		
	16000 Electrical		6,498
	64.00 Labor hours		
	33 Nourishment Stations		63,123
	392.48 Labor hours		
	254.00 Equipment hours		
	35 Dining Casework		
	01490 General Requirements		
2012.200	DEMOLITION - TEMPORARY ENCLOSURES		
d 10	Negative Air Equipment & Temp Wall/Door	2.00 ea	6,566
d 10	Tack Mats	2.00 ea	100
	DEMOLITION - TEMPORARY ENCLOSURES		6,666
	80.50 Labor hours		
	2.00 Equipment hours		
	01490 General Requirements		6,666
	80.50 Labor hours		
	2.00 Equipment hours		
	02050 Demolition		
2005.100	Hazardous Waste		
10	Remove Contaminated Ceiling Tile	252.00 sf	3,057
10	Asbestos Abatement to Allow Partitions Install	2.00 ea	6,459
	Hazardous Waste		9,517
2010.001	Demolition		
25	Demolition Dumpsters	1.00 ea	888
	Demolition		888
2070.250	Demo- Items		
18	Remove Various Wall Finishes	2.00 rm	231

Item	Description	Takeoff Qty	Total Amount
	Demo- Items		231
	4.00 Labor hours		
	02050 Demolition		10,636
	4.00 Labor hours		
	06000 Carpentry		
6200.100	Finish Carpentry		
020	Dining Casework	2.00 ea	12,918
	Finish Carpentry		12,918
	06000 Carpentry		12,918
	08000 Doors & Windows		
8100.100	Doors- Hol Metal		
10	Door, Frame & Hardware	4.00 lvs	8,955
	Doors- Hol Metal		8,955
	32.00 Labor hours		
	08000 Doors & Windows		8,955
	32.00 Labor hours		
	09000 Finishes		
9010.000	Drywall		
002	Furring & Wall Infills	2.00 ea	11,708
	Drywall		11,708
	176.06 Labor hours		
9650.100	Flooring- Resilient		
10	Flooring & Base Modifications	2.00 ea	1,292
	Flooring- Resilient		1,292
9910.100	Painting		
55	Patch & Paint at Dining Casework	2.00 ea	2,153
55	Modify Ceiling	2.00 ea	1,077
	Painting		3,230
	09000 Finishes		16,229
	176.06 Labor hours		
	15400 Plumbing		
15401.400	Plumbing Fixtures		
015	Pibg Exploratory Work	2.00 ea	1,525
015	Sink, Filter, Coffee Maker Hookup, Ice Mahine Hookup	2.00 ea	18,804
	Plumbing Fixtures		20,329
	176.00 Labor hours		
	15400 Plumbing		20,329
	176.00 Labor hours		
	16000 Electrical		
16000.001	Electrical GC's		
165	Electrical	2.00 ea	15,059



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Item	Description	Takeoff Qty	Total	
			Amount	
	Electrical GC's		15,059	
	160.00 Labor hours			
	16000 Electrical		15,059	
	160.00 Labor hours			
	35 Dining Casework		90,792	
	628.56 Labor hours			
	2.00 Equipment hours			
	36 Exterior Painting			
	09000 Finishes			
9910,100	Painting			
01	Exterior Painting - NHC Quote	1.00 Is	177,089	
	Painting		177,089	
	09000 Finishes		177,089	
	36 Exterior Painting		177,089	
	01 Base Project		2,138,965	
	11,234.664 Labor hours			
	814.00 Equipment hours			
	03 Generator Allowance			
	37 Emergency Generator			
	16000 Electrical			
16000.300	Emergency Generator			
n	010 Generator - Replacement Allowance	1.00 Is	150,000	
	Emergency Generator		150,000	
	16000 Electrical		150,000	
	37 Emergency Generator		150,000	
	03 Generator Allowance		150,000	

Estimate Totals

Description	Amount	Totals	Rate
	2,288,965	2,288,965	

Permit - See Recap

2,288,965



Estimate Totals

Total	2,288,965
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Basis of Estimate



Basis of Estimate

The following qualifications, clarifications, and/or exclusions form the basis of our budget. If our understanding or interpretation of the project requirements is not correct, please let us know and we can modify our estimate as required.

I. General Proposal Qualifications:

The following general qualifications form the basis of this budget:

1. The attached standard commercial terms govern the acceptance of our budget. This budget will be contingent upon reaching a mutually acceptable form of contract.
2. All A/Z labor is being provided on a merit shop (non-union signatory) basis.
3. A/Z assumes a mutually agreeable, orderly, and sequential project schedule.
4. A/Z shall provide closeout documentation in an electronic format.

II. Scope of Work Clarifications:

The following items are clarified to ensure that our understanding and allocated costs are consistent with the project requirements:

General Items:

Our proposal assumes:

1. The building permit is included.
2. A ten-phase schedule for the third and fourth floors at four weeks per phase. All aspects of the work, including selected alternates will be completed within this timeframe. An additional week per phase has been included for inspections, FF&E Install and patient relocation.
3. Final payment will not be contingent upon issuance of a certificate of occupancy for any item beyond the scope of this proposal.
4. Fire department permit fees are not included.
5. The owner will carry insurance coverage to support the project throughout construction (e.g., Builder's Risk policies, etc.).



Budget Overview

I. Refresh Patient Rooms

This scope of work includes:

1. New LVT with vinyl base installed over the existing floor in the bedroom.
2. New sheet vinyl with vinyl base installed over the existing floor in the bathroom.
3. Removing and properly disposing of ceiling tiles via an asbestos removal contractor.
4. Painting the existing ceiling grid including the removal and reinstallation of cubicle curtain tracks.
5. Furnishing and installing new 2x4 ceiling tile to fit in the existing repainted ceiling grid.
6. Painting the existing gypsum ceiling at the bathroom.
7. Removing the existing wardrobes.
8. Remove the existing millwork at four bedrooms.
9. Removing the wall finishes and prepping the walls.
10. Wallcovering at the headwall. We have included painting remaining walls including the bathroom.
11. New corner guards.
12. A new mirror at the restrooms.
13. A new light fixture above each bed.
14. One new sconce in each room.
15. A new outlet per bed for television.
16. 43 new television brackets and blocking. Televisions will be furnished and installed by others.
17. Raceways only for a new nurse call system. System purchase and install is an added alternate.

II. Refresh Corridor

This scope of work includes:

1. New carpet with base installed over the existing floor.
2. Removing and properly disposing of ceiling tiles via an asbestos removal contractor.
3. Painting the existing ceiling grid.
4. Furnishing and installing new 2x4 ceiling tile.



5. Removing the wall finishes and prepping the walls.
6. Painting below the handrail.
7. Furnishing and installing wallcovering above the handrail.
8. New corner guards.
9. Providing a new cover to the existing handrail.
10. New recessed light fixtures.

III. Bathing Suites

1. This scope of work includes:
 - a. Installing new VCT with vinyl base at the restroom over the existing floor.
 - b. Removing and properly disposing of ceiling tiles via an asbestos removal contractor.
 - c. Painting the existing ceiling grid.
 - d. Furnishing and installing new 2x4 ceiling tile.
 - e. Removing the wall finishes and prepping the walls.
 - f. Painting the remaining walls.
 - g. A new mirror at the restroom.
2. No work is included at the tub room.
3. We have allowed for repairing leaks at the floor drains

IV. Nurses Stations & Med Rooms

1. This scope of work includes:
 - a. New millwork for the nurses' station and med rooms.
 - b. New gypsum wall and door.
 - c. Furnishing and installing new 2x4 acoustical ceiling tile to fit in the repainted grid.
 - d. Painting all walls.
 - e. New light fixtures
 - f. Necessary wiring



- g. Extending the walls to the deck
- 2. We have not included sinks/eyewash at the med rooms.

V. New Flooring at the Dining Rooms

- 1. This scope of work includes providing new flooring over the existing flooring and new base.
- 2. No other work is included in these rooms.

Budget Qualifications

I. Civil, Structural, & Architectural (CSA) Qualifications, Clarifications, & Exclusions:

- 1. We have included:
 - a. Final construction cleaning. We have not included sanitization or sterilization of surfaces or systems.
 - b. Firesafing of openings through rated walls.
 - c. Temporary partitions and HEPA exhaust.
 - d. We have included a budget for painting of the exterior of the building based on a proposal received from Luxbrush Painting Company via National Health Care. The proposal has not been vetted by A/Z Corp. to determine the accuracy of the scope of work or their specified materials to confirm the value carried for this work.
- 2. We have not included furnishing or moving owner FF&E.

II. Mechanical & Thermal Exclusions:

- 1. We have not included:
 - a. Duct cleaning of the existing HVAC systems unless specifically noted herein.
 - b. Replacing the existing HVAC units.
 - c. Maintenance and/or repair of existing piping systems.
 - d. Painting of pipes and/or accessories.
 - e. Upgrades or modifications to any HVAC, plumbing, or other mechanical system not indicated herein.
 - f. Fire protection modifications.



- g. Replacing bed pan washers

III. Electrical, Controls, & Instrumentation Qualifications, Clarifications, & Exclusions:

1. We have included:
 - a. An **Allowance** of \$150,000 to furnish and install a new emergency generator and automatic transfer switch. This allowance is inclusive of all design, supervision and general conditions, and fee required to complete the work.
2. We have not included:
 - a. Replacing existing panel boards.
 - b. New emergency power outlets in the patient rooms.
 - c. Any work associated with the fire alarm system.
 - d. New home runs for MATV.
 - e. Any work on live circuits without NFPA 70E-compliant Electrical Energized Work Permit with the exception of testing, troubleshooting, voltage measuring, and visual inspection (circuit tracing). A/Z observes OSHA and NFPA restrictions on energized work. This policy is designed to provide a safe working environment for everyone on the job site.
 - f. Lightning protection.

IV. Technology, Telecommunications, & Security Qualifications, Clarifications, & Exclusions:

1. We have not included technology, telecommunications and/or security.



Standard Commercial Terms



Standard Commercial Terms

Preconstruction / Budgeting / Scheduling

Proposal Acceptance:

1. This proposal is contingent upon a scope review meeting between the Client and A/Z Corporation (A/Z) to ensure a mutual understanding and agreement of the deliverables as well as the parties arriving at agreeable contract terms and conditions within thirty (30) days of award. A/Z reserves the right to amend or correct any deficiencies, omissions, or oversights with regard to our proposal, and if accepted, this proposal offer shall become part of the contract documents and shall be read in harmony with the same. A/Z will hold our pricing and proposed team for a period of thirty (30) days from the date of the proposal.

Cost Estimating:

1. In providing opinions of probable construction cost during design development, the Client understands that A/Z Corporation has no control over the cost or availability of labor, equipment or materials, or over market conditions or other pricing methods utilized at that time, and that A/Z Corporation's opinion of probable construction costs are made on the basis of A/Z Corporation's professional judgment and experience. A/Z Corporation makes no warranty, express or implied, that the bids or the negotiated cost of the work will not vary from A/Z Corporation independent opinion of probable construction cost.
2. Our estimate is contingent upon a detailed review meeting between the Client and A/Z Corporation to ensure a mutual understanding of the program scope, services to be provided, and mutually acceptable terms are accepted between the parties.
3. Client agrees that it shall reimburse A/Z for items identified as reimbursable within its Proposal offer or as otherwise stipulated.

Invoices:

1. Project billing shall be monthly and payable within 30 days. Undisputed invoices that are unpaid after 45 days of the invoice delivery date are subject to interest at 1.0% per month. Undisputed and unpaid invoices may impact the release of project documents, or other project deliverables, and may result in the suspension of services.
2. Non-payment by the Client in excess of 60 days past due for pending invoices or non-processing of approved change orders shall constitute a material breach. A/Z reserves the right to stop work on a project in the event of a material breach without penalty.

Limitation of Liability:

1. A/Z Corporation shall not be liable to the Client for any errors or omissions resulting from a professional opinion or recommendation made, unless said opinion or recommendation have evidenced gross negligence or willful misconduct. In any event, such liability shall be limited to professional liability insurance limits or limited to fee paid by A/Z Corporation by the Client. No guarantees, warranties, or perfection in services is implied or offered. A/Z Corporation shall provide professional services consistent with accepted standards of practice and care.

2. A/Z Corporation makes no representation with regard to areas not made available for its inspection, or for latent or hidden conditions.
3. A/Z has provided pricing to assist the Client / Client to identify probable costs associated with this project. A/Z's provision of pricing shall in no way constitute an endorsement or recommendations to proceed, suspend, or cancel a project. The pricing provided is for informational purposes only.

Miscellaneous:

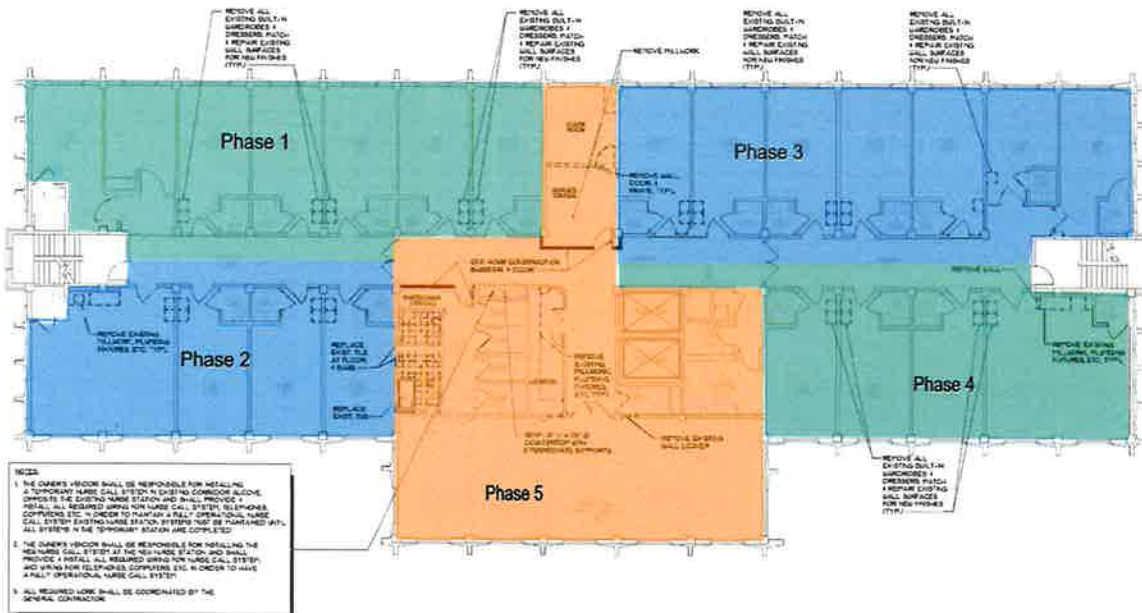
1. A/Z Corporation assumes permission to utilize the project description and Client name in its marketing communication materials. Any photography that is Client or project-specific may be utilized with permission from the Client.
2. Unless stated otherwise, A/Z has not included any costs associated with specialty surveys, assessments, geo-technical, topographical analysis and/or third party testing and inspection. A/Z has only provided for those allowances as stated and set forth within the proposal.
3. Upon request, a detailed project schedule will be provided for Client's review and approval prior to the commencement of preconstruction and construction activities. Accordingly, A/Z shall prepare and submit for Client's approval, a schedule for the performance of services with regularly submitted updates. The schedule shall include reasonable allowances for review and approval times required by the Client, performance of services by the Client's consultants, as well as review and approval times required by public authorities having jurisdiction over the project or the scheduling item. Schedule dates are good faith estimates based upon A/Z's professional judgment and experience and conditions known at the time. A/Z reserves the right to amend and republish the schedule as the project progresses, allowing for changes in scope, character, delays, project size or other interceding causes beyond the reasonable control of A/Z.
4. A/Z complies with all equal employment opportunity requirements and does not under any circumstance discriminate against any person because of race, creed, color, age, sex, national origin, handicap, marital status, or sexual orientation.

Confidentiality Statement:

1. This proposal contains trade secrets, proprietary and confidential information which is the property of A/Z, and as such, may only be used by the Client for the purposes of evaluating the submitted proposal. Such information shall not be disclosed by the Client to any third party without the prior written consent of A/Z. Said information shall not be reproduced, duplicated, utilized, published, disseminated, or disclosed, in whole or in part, for any purpose whatsoever, other than to evaluate this proposal offer. If, however, this proposal is accepted, the Client shall have the right to disclose the data, illustrations, and drawings to the extent provided within the executed contract agreement between both parties. The data and illustrations subject to this restriction are contained within this proposal. The distribution of this proposal is strictly limited to the parties hereto.



ATTACHMENT 8



DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN FIELD, REPORT ANY AND ALL DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO ARCHITECT BEFORE PROCEEDING WITH WORK.
2. CONTRACTOR SHALL CLEAN ANY AREA OUTSIDE THE CONTRACT LIMIT THAT BECOMES DIRTY AS A RESULT OF DEMOLITION. CLEANING SHALL BE DONE ON A DAILY BASIS.
3. ALL EXISTING WALLS, CEILING, TRIM, AND CASEWORK TO BE REMOVED SHALL BE REFINISHED BY STAINED LINES. EXISTING DOORS THAT WILL REMAIN SHALL BE REFINISHED, REPAIRED AND REFINISHED. DOOR FRAMES TO REMAIN AND SHALL BE CLEANED & REFINISHED (COORDINATE WITH NEW CONSTRUCTION FOR EXIST AND LOCATION OF NEW CONSTRUCTION).
4. ALL EXISTING TOILET ROOM ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW ACCESSORIES REFER TO PLANS AND SPEC. FOR FURTHER DETAIL. REMOVE ALL URINE BASIN IN EXISTING TOILET ROOMS AND BATHROOMS, CLEAN AND REFINISH. AFTER NEW FINISHES HAVE BEEN INSTALLED.
5. WHERE WORK IS TO BE PERFORMED UNDER THIS CONTRACT REMOVE ALL FLOORING, BASE, & WALL COVERING, SCUFFS AND PREPARE CONCRETE FLOOR SLAB AND GIRDERS FOR NEW FLOORING AND WALL FINISHES (SEE FINISH SCHEDULE).
6. BEFORE REMOVAL OF WALLS OR PARTITIONS EXTERIOR BEYOND ONE FINISHED AREA AND ANOTHER FINISHED AREA, PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE TO PROVIDE AN EVEN SURFACE OF FINISHING. COLOR AND APPEARANCE. REMOVE EXISTING FLOOR AND WALL COVERINGS AND REPLACE WITH NEW MATERIALS IF NECESSARY TO ACHIEVE UNIFORM COLOR AND APPEARANCE.
7. PROTECT ALL EXISTING SURFACES SCHEDULED TO REMAIN DURING ALL PHASES OF CONSTRUCTION.
8. CONTRACTOR TO BE RESPONSIBLE FOR ALL PENETRATIONS OF EXISTING MATERIALS AND STRUCTURES NECESSARY FOR NEW UTILITIES, MECHANICAL, ELECTRICAL, AND PLUMBING WORK AND SHALL MAINTAIN APPROPRIATE NOISE RATING.
9. PROVIDE TEMPORARY STRUCTURAL SUPPORT AND ENCLOSURE AS REQUIRED TO MAINTAIN INTEGRITY OF EXISTING BUILDING DURING DEMOLITION WORK.
10. REFER TO REFLECTED CEILING PLANS FOR EXTENT OF CEILING DEMOLITION AND NEW CONSTRUCTION WORK.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL MODIFICATIONS MADE TO THE EXISTING BUILDING IN ORDER TO INSTALL THE HEP SYSTEMS.
12. CONTRACTOR SHALL ENSURE THAT THE REQUIRED TEMPORARY MEANS OF EGRESS BE KEPT FREE AND CLEAR OF CONSTRUCTION EQUIPMENT AND CLUTTER THROUGHOUT THE CONSTRUCTION PERIOD AS REQUIRED.
13. CONTRACTOR SHALL REMOVE ALL DEMOLITION DEBRIS USUALLY 1 DAY BEFORE.
14. CONTRACTOR SHALL LEAVE AREA BRUSHY CLEAN AT THE COMPLETION OF WORK.
15. CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION AND PATCHING/REPAIR WORK REQUIRED FOR REPLACEMENT OF CEILING LIGHTS, WALL, SPACES, WIRING, CONDUITS, OUTLETS, ETC. WITHIN WALLS AND ABOVE CEILING AS REQUIRED.
16. EXISTING LIGHTING SHALL BE REPLACED WITH NEW LIGHTING AS SHOWN ON THE REFLECTED CEILING PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSOCIATED WIRING.

FOURTH FLOOR DEMOLITION PLAN (11,692 S.F.)
SCALE: 1/8" = 1'-0"

Phase	Beds Lost
Phase 1	-11
Phase 2	-10
Phase 3	-12
Phase 4	-10
Phase 5	0

REVISIONS

NO.	DATE	DESCRIPTION

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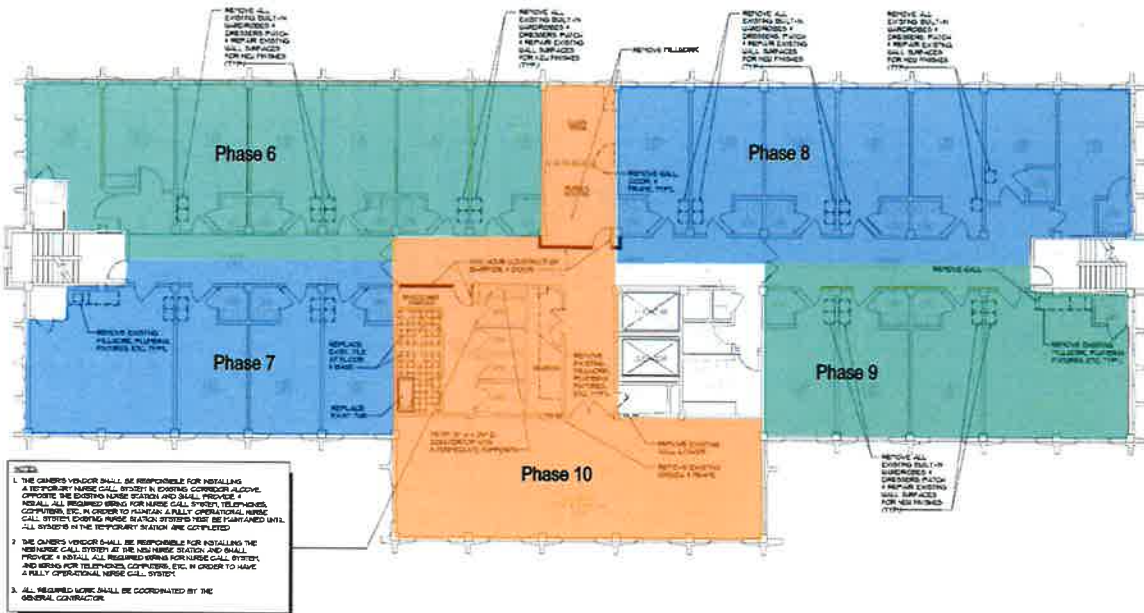
THE PINES AT RUTLAND
99 ALLEN STREET
RUTLAND, VERMONT

FOURTH FLOOR DEMOLITION PLAN



DATE: 12/14/21
SCALE: 1/8" = 1'-0"
PROJECT NAME: AD-140
DRAWN BY: JG

AD-140



DEMOLITION NOTES

- CONTRACTOR SHALL VERIFY ALL CONDITIONS WHILE REMOVE ANY AND ALL DISCREPANCIES BETWEEN THE PLANS AND AS-BUILT FIELD CONDITIONS TO ADJUST BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL CLEAR ANY AREA OUTSIDE THE CONTRACT LIMIT THAT BECOMES DIRTY AS A RESULT OF DEMOLITION. CLEANING SHALL BE DONE ON A DAILY BASIS.
- ALL EXISTING WALLS, DOORS, WINDOWS, AND CEILING TO BE REMOVED SHALL BE REPRESENTED BY DASHED LINES. EXISTING DOORS THAT WILL REMAIN SHALL BE NOTED BY DASHED LINES AND RE-USE. DOOR FRAMES TO BE REMOVED SHALL BE NOTED BY DASHED LINES AND RE-USE. DOOR FRAMES TO BE REMOVED SHALL BE NOTED BY DASHED LINES AND RE-USE.
- ALL EXISTING TOILET ROOM ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW ACCESSORIES. REFER TO PLANS AND SPEC FOR FURTHER DETAIL. REMOVE ALL WALLS IN EXISTING TOILET ROOMS AND BATHROOMS. CLEAR AND REPAIR AFTER NEW FINISHES HAVE BEEN INSTALLED.
- WHERE WORK IS TO BE PERFORMED UNDER THIS CONTRACT, REMOVE ALL FLOORING, BASE, + WALL COVERING, MOULDURE AND PREPARE CONCRETE FLOOR SLAB AND GAB FOR NEW FLOORING AND WALL FINISHES (SEE PAGES 10-11).
- WHERE REMOVAL OF WALLS OR PARTITIONS EXPOSES EXISTING AREA INTO EXISTING FINISHED AREA, PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE TO PREPARE AN EVEN SURFACE OF UNIFORM COLOR AND APPEARANCE. REMOVE EXISTING FLOOR AND WALL COVERING AND REPLACE STRIKE-TO-STRIKE IF NECESSARY TO ACHIEVE UNIFORM COLOR AND APPEARANCE.
- PROTECT ALL EXISTING SURFACES SCHEDULED TO REMAIN DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR TO BE RESPONSIBLE FOR ALL PENETRATIONS OF EXISTING MATERIALS AND STRUCTURES NECESSARY FOR NEW UTILITIES, MECHANICAL, ELECTRICAL, AND PLUMBING WORK, AND SHALL FURNISH APPROPRIATE HOURLY RATINGS.
- PROVIDE TEMPORARY STRUCTURAL SUPPORT AND ENCLOSURE AS REQUIRED TO MAINTAIN INTEGRITY OF EXISTING BUILDING DURING DEMOLITION WORK.
- REFER TO SPECIFICATIONS FOR ALL NEW WORK FOR EXTENT OF SEALING DEMOLITION AND NEW CONSTRUCTION WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL MODIFICATIONS MADE TO THE EXISTING BUILDING IN ORDER TO INSTALL THE NEW SYSTEMS.
- CONTRACTOR SHALL ENSURE THAT THE REQUIRED TEMPORARY MEANS OF EGRESS BE KEPT FREE AND CLEAR OF CONSTRUCTION EQUIPMENT AND DEBRIS THROUGHOUT THE CONSTRUCTION PROCESS AS REQUIRED.
- CONTRACTOR SHALL REMOVE ALL DEMOLITION DEBRIS LEGALLY + OFF SITE.
- CONTRACTOR SHALL LEAVE AREA BROOD CLEAN AT THE COMPLETION OF WORK.
- CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION AND PATCH/REPAIR WORK REQUIRED FOR REPLACEMENT OF CEILING LIGHTS, WALL SWITCHES, WALL COATERS, OUTLETS, ETC. WITH WALLS AND ABOVE CEILING AS REQUIRED.
- EXISTING LIGHTING SHALL BE REPLACED WITH NEW LIMITED AS SHOWN ON THE REFLECTED CEILING PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSOCIATED WIRING.

THIRD FLOOR DEMOLITION PLAN (11,692 S.F.)
SCALE: 1/8" = 1'-0"

AZP
CORP

Phase	Beds Lost
Phase 6	-11
Phase 7	-10
Phase 8	-12
Phase 9	-10
Phase 10	0

REVISION

DETAILS

CONFIDENTIAL & PROPRIETARY
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THE PINES AT RUTLAND
99 ALLEN STREET
RUTLAND, VERMONT

THIRD FLOOR DEMOLITION PLAN



DRAWN BY: 1/23/13
SCALE: 1/8" = 1'-0"
CHECKED BY: 1/23/13
DATE: 1/23/13

AD-130

ATTACHMENT 9

Rutland Crossings LLC and EP Rutland Acquisition, LLC
d/b/a The Pines at Rutland

COMBINED FINANCIAL STATEMENTS

Years Ending 2016 (Forecasted) and
December 31, 2017 through 2019 (Projected)
and
Years Ended December 31, 2014 and 2015 (Historical)

Rutland Crossings LLC and EP Rutland Acquisition, LLC
d/b/a The Pines at Rutland
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Kittell Branagan & Sargent

Certified Public Accountants

Vermont License #167

ACCOUNTANT'S COMPILATION REPORT

Rutland Crossings LLC and EP Rutland Acquisition, LLC
d/b/a The Pines at Rutland
99 Allen Street
Rutland, Vermont 05701

We have compiled the accompanying Combined forecasted balance sheets, statements of income, changes in member's equity, and cash flows and the Combined projected balance sheets, statements of income, changes in member's equity, and cash flows of Rutland Crossings LLC and EP Rutland Acquisition, LLC d/b/a The Pines at Rutland as of December 31, 2016 and 2017 through 2019, respectively and for the years then ending and the accompanying supplementary information contained on pages 9 & 10, which are presented only for supplementary analysis purposes, in accordance with attestation standards established by the American Institute of Certified Public Accountants. The accompanying projections were prepared for seeking approval from the Green Mountain Care Board (GMCB) for a certificate of need (CON) to complete a renovation project and obtaining financing for the renovation.

A compilation is limited to presenting in the form of prospective financial statements information that is the representation of management and does not include evaluation of the support for the assumptions underlying the projection. We have not examined the projections and supplementary information and, accordingly, do not express an opinion or any other form of assurance on the accompanying statements or assumptions. Furthermore, because events and circumstances frequently do not occur as expected, there will usually be differences between forecasted and actual results, and even if the CON approval from GMCB and obtaining financing for the renovation were to occur there will usually be differences between the projected and actual results because events and circumstances frequently do not occur as expected, and those differences may be material. We have no responsibility to update this report for events and circumstances occurring after the date of this report.

We have also compiled the accompanying historical balance sheets as of December 31, 2014 and 2015 and the related statements of income and member's equity and cash flows for the years then ended. We have not audited or reviewed the accompanying historical financial statements, and accordingly, do not express an opinion or provide any assurance about whether the historical financial statements are in accordance with accounting principles generally accepted in the United States of America.

Management is responsible for the preparation and fair presentation of the historical financial statements in accordance with accounting principles generally accepted in the United States of America and for designing, implementing, and maintaining internal control relevant to the preparation and fair presentation of the historical financial statements.

Our responsibility is to conduct the compilation in accordance with Statements on Standards for Accounting and Review Services issued by the American Institute of Certified Public Accountants. The objective of a compilation is to assist management in presenting financial information in the form of historical financial statements without undertaking to obtain or provide any assurance that there are no material modifications that should be made to the historical financial statements.

The accompanying presentation and this report are intended solely for the information and use of GMCB and potential lending institutions and are not intended to be and should not be used by anyone other than these specified parties.

A handwritten signature in black ink that reads "Kittell Brannon & Sargent". The signature is written in a cursive, flowing style.

St. Albans, Vermont
November 8, 2016

Rutland Crossings LLC and EP Rutland Acquisition, LLC
d/b/a The Pines at Rutland
COMBINED BALANCE SHEETS
UNDER THE HYPOTHETICAL ASSUMPTIONS IN NOTE 1
December 31, 2014 and 2015 (Historical), 2016 (Forecasted) and 2017 through 2019 (Projected)

	<u>ASSETS</u>					
	Historical 2014	Historical 2015	Forecasted 2016	Projected 2017	Projected 2018	Projected 2019
CURRENT ASSETS						
Cash	\$ 1,160,191	\$ 1,775,512	\$ 2,292,681	\$ 2,841,585	\$ 3,682,620	\$ 4,590,015
Patient Trust	26,590	38,519	39,289	40,075	40,877	41,694
Accounts Receivable, Net	1,285,602	941,680	960,514	979,724	999,319	1,019,305
Inventory	25,322	27,386	27,934	28,492	29,062	29,643
Prepaid expenses	137,169	61,116	62,338	63,585	64,857	66,154
TOTAL CURRENT ASSETS	2,634,874	2,844,213	3,382,756	3,953,462	4,816,734	5,746,811
PROPERTY AND EQUIPMENT						
Land	150,000	150,000	150,000	150,000	150,000	150,000
Buildings & Improvements	5,482,230	5,424,649	5,454,649	8,783,020	8,813,020	8,843,020
Equipment & Furnishings	644,633	692,172	732,172	1,203,810	1,243,810	1,283,810
	6,276,863	6,266,821	6,336,821	10,136,830	10,206,830	10,276,830
Less: Accumulated depreciation	(1,505,436)	(1,748,420)	(1,996,266)	(2,246,861)	(2,861,570)	(3,481,779)
TOTAL PROPERTY, PLANT & EQUIPMENT	4,771,427	4,518,401	4,340,555	7,889,969	7,345,260	6,795,051
OTHER ASSETS						
Financing Fees, Net	29,515	24,855	20,195	57,535	50,775	44,015
TOTAL ASSETS	\$ 7,435,816	\$ 7,387,469	\$ 7,743,507	\$ 11,900,966	\$ 12,212,769	\$ 12,585,878
	<u>LIABILITIES AND MEMBERS' EQUITY</u>					
CURRENT LIABILITIES						
Accounts payable	\$ 642,832	\$ 478,177	\$ 487,741	\$ 469,335	\$ 478,722	\$ 488,297
Patient Trust	26,590	38,519	39,289	40,075	40,877	41,694
Current Portion of long-term Debt	184,244	195,523	207,612	338,043	348,179	362,797
Accrued expenses	743,865	572,606	584,058	595,739	607,654	619,807
TOTAL CURRENT LIABILITIES	1,597,531	1,284,825	1,318,700	1,443,193	1,475,432	1,512,595
LONG TERM DEBT, less current portion	3,960,209	3,770,564	3,562,952	6,996,918	6,648,739	6,285,942
FAIR MARKET VALUE ON INTEREST RATE SWAP	427,222	330,847	222,489	102,148	-	-
TOTAL LIABILITIES	5,984,962	5,386,236	5,104,141	8,542,259	8,124,171	7,798,537
MEMBERS' EQUITY						
Members' Equity	1,878,076	2,332,080	2,861,854	3,460,855	4,088,598	4,787,341
Accum. Other comprehensive income	(427,222)	(330,847)	(222,489)	(102,148)	-	-
TOTAL MEMBERS' EQUITY	1,450,854	2,001,233	2,639,365	3,358,707	4,088,598	4,787,341
TOTAL LIABILITIES AND MEMBERS' EQUITY	\$ 7,435,816	\$ 7,387,469	\$ 7,743,507	\$ 11,900,966	\$ 12,212,769	\$ 12,585,878

See Summary of Significant Projection Assumptions and Accounting Policies and Accountant's Report

Rutland Crossings LLC and EP Rutland Acquisition, LLC
d/b/a The Pines at Rutland
COMBINED STATEMENTS OF INCOME
UNDER THE HYPOTHETICAL ASSUMPTIONS IN NOTE I

For the Years Ended December 31, 2014 and 2015 (Historical) and Years Ending 2016 (Forecasted) and 2017 through 2019 (Projected)

	Historical 2014	Historical 2015	Forecasted 2016	Projected 2017	Projected 2018	Projected 2019
REVENUE						
Private patients	\$ 956,731	\$ 1,054,200	\$ 1,075,284	\$ 1,115,440	\$ 1,430,800	\$ 1,614,030
Medicaid patients	6,934,688	7,232,810	7,377,466	7,587,874	7,882,949	7,841,685
Medicare patients	4,955,643	4,485,047	4,574,748	4,334,311	5,263,092	5,583,088
Other patients	999,747	658,516	671,686	911,390	929,618	948,211
Private and Part B Ancillaries	389,217	375,777	383,293	390,958	398,778	406,753
	<u>14,236,026</u>	<u>13,806,350</u>	<u>14,082,477</u>	<u>14,339,974</u>	<u>15,905,237</u>	<u>16,393,767</u>
Less: Provision for Bad Debts	<u>(37,309)</u>	<u>(39,636)</u>	<u>(40,429)</u>	<u>(41,237)</u>	<u>(42,062)</u>	<u>(42,903)</u>
INCOME FROM PATIENT CARE	<u>14,198,717</u>	<u>13,766,714</u>	<u>14,042,048</u>	<u>14,298,737</u>	<u>15,863,175</u>	<u>16,350,863</u>
EXPENSES						
Administrative & general	3,576,755	3,315,488	3,381,798	3,451,873	3,566,326	3,637,652
Property and related expenses	753,252	765,052	758,592	752,942	1,370,156	1,289,726
Plant operation and maintenance	439,446	436,587	445,319	454,225	463,310	472,576
Dietary	813,471	835,061	851,762	870,424	918,108	936,470
Laundry and Linen	126,734	109,407	111,595	113,827	116,104	118,426
Housekeeping	284,720	275,347	280,854	286,471	292,200	298,044
Nursing	3,964,711	4,097,439	4,179,388	4,270,791	4,501,700	4,591,732
Other services	<u>2,587,997</u>	<u>2,408,842</u>	<u>2,457,019</u>	<u>2,315,060</u>	<u>2,766,329</u>	<u>2,924,598</u>
TOTAL EXPENSES	<u>12,547,086</u>	<u>12,243,223</u>	<u>12,466,327</u>	<u>12,515,613</u>	<u>13,994,232</u>	<u>14,269,224</u>
OPERATING INCOME	<u>1,651,631</u>	<u>1,523,491</u>	<u>1,575,722</u>	<u>1,783,123</u>	<u>1,868,943</u>	<u>2,081,639</u>
OTHER REVENUE/(EXPENDITURES)						
Miscellaneous	3,418	12,426	12,675	13,071	13,479	13,900
Quality Award Income	-	53,510	-	-	-	-
Prior year settlements	(95,842)	-	-	-	-	-
Loss on disposal of fixed assets	-	(93,440)	-	-	-	-
Interest Income	<u>4,037</u>	<u>2,714</u>	<u>2,768</u>	<u>2,855</u>	<u>2,944</u>	<u>3,036</u>
TOTAL OTHER REVENUE/ (EXPENDITURES)	<u>(88,387)</u>	<u>(24,790)</u>	<u>15,443</u>	<u>15,926</u>	<u>16,423</u>	<u>16,936</u>
NET INCOME BEFORE INCOME TAXES	1,563,244	1,498,701	1,591,164	1,799,049	1,885,366	2,098,575
INCOME TAXES	<u>250</u>	<u>250</u>	<u>250</u>	<u>250</u>	<u>250</u>	<u>250</u>
NET INCOME	1,562,994	1,498,451	1,590,914	1,798,799	1,885,116	2,098,325
OTHER COMPREHENSIVE INCOME						
Change in fair value of interest rate swar	<u>84,392</u>	<u>96,375</u>	<u>108,358</u>	<u>120,341</u>	<u>102,148</u>	<u>-</u>
COMPREHENSIVE INCOME	<u>\$ 1,647,386</u>	<u>\$ 1,594,826</u>	<u>\$ 1,699,272</u>	<u>\$ 1,919,140</u>	<u>\$ 1,987,264</u>	<u>\$ 2,098,325</u>

See Summary of Significant Projection Assumptions and Accounting Policies and Accountant's Report

Rutland Crossings LLC and EP Rutland Acquisition, LLC
d/b/a The Pines at Rutland
COMBINED STATEMENTS OF CHANGES IN MEMBERS' EQUITY
UNDER THE HYPOTHETICAL ASSUMPTIONS IN NOTE 1

For the Years Ended December 31, 2014 and 2015 (Historical) and Years Ending 2016 (Forecasted) and 2017 through 2019 (Projected)

	<u>Historical 2014</u>	<u>Historical 2015</u>	<u>Forecasted 2016</u>	<u>Projected 2017</u>	<u>Projected 2018</u>	<u>Projected 2019</u>
MEMBERS' EQUITY						
Beginning Balance	\$ 2,550,951	\$ 1,878,076	\$ 2,332,080	\$ 2,861,854	\$ 3,460,855	\$ 4,088,598
Distributions	(2,235,869)	(1,044,447)	(1,061,140)	(1,199,799)	(1,257,372)	(1,399,583)
Net Income	<u>1,562,994</u>	<u>1,498,451</u>	<u>1,590,914</u>	<u>1,798,799</u>	<u>1,885,116</u>	<u>2,098,325</u>
Ending Balance	<u>1,878,076</u>	<u>2,332,080</u>	<u>2,861,854</u>	<u>3,460,855</u>	<u>4,088,598</u>	<u>4,787,341</u>
OTHER COMPREHENSIVE INCOME						
Beginning Balance	(511,614)	(427,222)	(330,847)	(222,489)	(102,148)	-
Other Comprehensive Income	<u>84,392</u>	<u>96,375</u>	<u>108,358</u>	<u>120,341</u>	<u>102,148</u>	<u>-</u>
Ending Balance	<u>(427,222)</u>	<u>(330,847)</u>	<u>(222,489)</u>	<u>(102,148)</u>	<u>-</u>	<u>-</u>
TOTAL MEMBERS' EQUITY	<u>\$ 1,450,854</u>	<u>\$ 2,001,233</u>	<u>\$ 2,639,365</u>	<u>\$ 3,358,707</u>	<u>\$ 4,088,598</u>	<u>\$ 4,787,341</u>

See Summary of Significant Projection Assumptions and Accounting Policies and Accountant's Report

Rutland Crossings LLC and EP Rutland Acquisition, LLC
d/b/a The Pines at Rutland

COMBINED STATEMENTS OF CASH FLOWS
UNDER THE HYPOTHETICAL ASSUMPTIONS IN NOTE 1

For the Years Ended December 31, 2014 and 2015 (Historical) and Years Ending 2016 (Forecasted) and 2017 through 2019 (Projected)

	Historical 2014	Historical 2015	Forecasted 2016	Projected 2017	Projected 2018	Projected 2019
CASH FLOWS FROM OPERATING ACTIVITIES						
Net Income	\$ 1,562,994	\$ 1,498,451	\$ 1,590,914	\$ 1,798,799	\$ 1,885,116	\$ 2,098,325
Adjustments to Reconcile Net Income to Net Cash Provided by Operating Activities						
Depreciation & Amortization	250,999	247,644	252,506	255,256	621,469	626,969
Loss on disposal of fixed assets	-	93,440	-	-	-	-
(Increase) decrease in:						
Accounts Receivable	48,918	343,922	(18,834)	(19,210)	(19,594)	(19,986)
Inventory	(2,579)	(2,064)	(548)	(559)	(570)	(581)
Prepaid Expenses	(115,367)	76,053	(1,222)	(1,247)	(1,272)	(1,297)
Increase (decrease) in:						
Accounts Payable	25,102	(164,655)	9,564	(18,405)	9,387	9,574
Accrued expenses	(64,951)	(171,259)	11,452	11,681	11,915	12,153
NET CASH PROVIDED BY OPERATING ACTIVITIES	<u>1,705,116</u>	<u>1,921,532</u>	<u>1,843,832</u>	<u>2,026,316</u>	<u>2,506,450</u>	<u>2,725,157</u>
CASH FLOWS FROM INVESTING ACTIVITIES						
Purchases of Property, Plant & Equipment	<u>(59,097)</u>	<u>(83,398)</u>	<u>(70,000)</u>	<u>(3,800,009)</u>	<u>(70,000)</u>	<u>(70,000)</u>
CASH FLOWS FROM FINANCING ACTIVITIES						
Proceeds from new debt	-	-	-	3,772,009	-	-
Financing Costs Incurred	-	-	-	(42,000)	-	-
Principal Payments of Long-Term Debt	(167,884)	(178,366)	(195,523)	(207,612)	(338,043)	(348,179)
Distributions to owners	<u>(2,235,869)</u>	<u>(1,044,447)</u>	<u>(1,061,140)</u>	<u>(1,199,799)</u>	<u>(1,257,372)</u>	<u>(1,399,583)</u>
NET CASH PROVIDED (USED) BY FINANCING ACTIVITIES	<u>(2,403,753)</u>	<u>(1,222,813)</u>	<u>(1,256,663)</u>	<u>2,322,598</u>	<u>(1,595,415)</u>	<u>(1,747,762)</u>
NET INCREASE (DECREASE) IN CASH	<u>(757,734)</u>	<u>615,321</u>	<u>517,169</u>	<u>548,904</u>	<u>841,035</u>	<u>907,395</u>
CASH AT BEGINNING OF YEAR	<u>1,917,925</u>	<u>1,160,191</u>	<u>1,775,512</u>	<u>2,292,681</u>	<u>2,841,585</u>	<u>3,682,620</u>
CASH AT END OF YEAR	<u>\$ 1,160,191</u>	<u>\$ 1,775,512</u>	<u>\$ 2,292,681</u>	<u>\$ 2,841,585</u>	<u>\$ 3,682,620</u>	<u>\$ 4,590,015</u>
SUPPLEMENTARY DISCLOSURES						
Interest paid	<u>\$ 297,660</u>	<u>\$ 285,920</u>	<u>\$ 269,363</u>	<u>\$ 256,228</u>	<u>\$ 402,061</u>	<u>\$ 309,198</u>
Income taxes paid	<u>\$ 250</u>	<u>\$ 250</u>	<u>\$ 250</u>	<u>\$ 250</u>	<u>\$ 250</u>	<u>\$ 250</u>

See Summary of Significant Projection Assumptions and Accounting Policies and Accountant's Report

Rutland Crossings LLC and EP Rutland Acquisition, LLC.
d/b/a The Pines at Rutland
SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS
AND ACCOUNTING POLICIES

NOTE 1 NATURE AND LIMITATIONS OF PROJECTIONS

The accompanying projections assume that the Company obtains approval from GMCB for a certificate of need (CON) to complete a renovation to their 125 bed nursing home in Rutland, Vermont and can obtain financing for the renovation. These financial projections present, to the best of management's knowledge and belief, the Company's expected financial position, results of operations, and cash flows for the years ending December 31, 2017 through 2019 if it obtains CON approval and financing. Accordingly, the projections reflect its judgment as of November 8, 2016 the date of these projections, of the expected conditions, and its expected course of action given those hypothetical assumptions.

The presentation is designed to assist GMCB in its decision regarding CON approval and to assist potential lending institutions and management in negotiating financing arrangements and should not be considered to be a presentation of expected future results. Accordingly, these projections may not be useful for other purposes. The assumptions disclosed herein are those that management believes are significant to the projections. Even if the projected assumptions are attained, there will usually be differences between projected and actual results, because events and circumstances frequently do not occur as expected, and those differences may be material.

NOTE 2 SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

Organization and Combination:

Rutland Crossings, LLC is organized as the entity that operates the 125 bed nursing home facility. They lease the property from EP Rutland Acquisition, LLC (a related organization) which is organized to own the property. These attached projected financial statements are presented as one Combined entity with all eliminating entries being reflected.

Nature of Operations:

The Company will continue to provide nursing home care and short term rehabilitation for up to 125 Nursing Home residents in the Rutland, Vermont area.

Inventories:

Inventories are stated at the lower of cost or market. Cost is determined on the first-in, first-out (FIFO) basis.

Property, Plant and Equipment:

Property, plant and equipment is recorded at cost and depreciation thereon is computed by the straight-line method over the assets estimated useful life.

Revenues:

A significant amount of revenues are from Medicaid and Medicare reimbursements.

Estimates

The preparation of financial statements in conformity with generally accepted accounting principles require management to make estimates and assumptions that affect certain reported amounts and disclosures. Accordingly, actual results could differ from those estimates.

Rutland Crossings LLC and EP Rutland Acquisition, LLC.
d/b/a The Pines at Rutland
SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS
AND ACCOUNTING POLICIES

NOTE 2 SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (continued)

Intangible Assets

Financing costs are amortized by charges to operations on a straight-line basis over the lives of the loans.

NOTE 3 PROJECT FUNDING AND CAPITALIZATION

The projections assume that the purchase will be funded by borrowing approximately \$3,772,009 with an amortization over 20 years at an estimated 4.5% interest rate. The funding will include \$3,298,371 for renovations/improvements (which includes \$78,750 estimated for capitalized interest during the 12 month construction period), \$431,638 for furniture/equipment and \$42,000 for debt financing costs.

NOTE 4 REVENUE ASSUMPTIONS

All revenue assumptions are based on management's best judgment about circumstances and conditions at the time these projections were prepared and are not all inclusive.

2016 "budget year" - The 2016 "budget" year represents a 2% inflationary increase over the 2015 actual revenues. Census is expected to remain the same as in 2015.

Census - Overall census numbers are projected to remain fairly consistent with the 2015/2016 census through 2017 while construction occurs as residents will be relocated within the facility while their room undergoes upgrades. Census is then expected to increase in 2018 and 2019 after construction is complete. The patient mix is expected to reflect an increase in Medicare and Private utilization in years 2018 and 2019 upon completion of the renovation project as indicated in the census schedule below:

	<u>2017</u>	<u>2018</u>	<u>2019</u>
<u>Projected Census - Nursing Home</u>			
Private	2,920	3,650	4,015
Medicaid	29,200	28,470	27,740
Medicare	7,665	9,125	9,490
Commercial & Other	<u>2,190</u>	<u>2,190</u>	<u>2,190</u>
 Total NH	 <u>41,975</u>	 <u>43,435</u>	 <u>43,435</u>
 Occupancy Percent	 <u>92.00</u>	 <u>95.20</u>	 <u>95.20</u>

Rutland Crossings LLC and EP Rutland Acquisition, LLC.
d/b/a The Pines at Rutland
SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS
AND ACCOUNTING POLICIES

NOTE 4 REVENUE ASSUMPTIONS (continued)

Rates – Private rates are anticipated to increase \$10 per day annually to cover normal inflationary costs. The average rate in 2015 was \$362 per day. The 2017 Medicaid rates are projected at the July 1, 2016 rate of \$240.29 plus an estimated 2.0% increase annually to cover normal inflationary costs. The Medicaid rate is also increased effective January 1, 2018 for the increased capital rate adjustment estimated to be \$12.16 per day. Medicaid Ventilator residents are expected to remain at the same census level as in 2015 and their rate is estimated at the 2015 average rate of \$442.60 and inflated 2% annually for inflation. Medicare rates are expected to increase 2% annually to cover normal inflationary costs starting with the 2015 average Medicare rate of \$565.47. Commercial and “other” rates are based on the 2015 average rate of \$400 per day and increased 2% each year for inflation. Private and Part B ancillaries are expected to increase 2.0% per year using the current owner’s revenues as a base.

NOTE 5 EXPENSE ASSUMPTIONS

All expense assumptions are based on management’s best judgment about circumstances and conditions at the time these projections were prepared and are not all inclusive.

Overall expenses - except where otherwise indicated below, expenses are projected using the current facility’s historical 2015 costs increased annually by an estimated 2.0% for inflation.

Overall Census changes – All Nursing and Dietary costs along with related payroll taxes and benefits are anticipated to increase/decrease at the same ratio of the overall census change above on top of the 2% annual inflation increase.

Medicare Census changes – All Rehabilitative and Pharmacy costs along with related payroll taxes and benefits are anticipated to increase at the same ratio of the Medicare census change above on top of the 2% annual inflation increase.

Interest costs – New debt on the renovation project is calculated based on amortization schedules for projected debt as described in Note 3 above. Existing debt has a maturity date of November 1, 2018 and is anticipated to be refinanced at a rate of 4.5% without a Swap agreement for its existing amortization period.

Depreciation - calculated based on estimated allocation above in Note 3 plus an annual increase for normal equipment and furnishings of \$40,000 annually and improvements of \$30,000. Lives on all depreciable assets are set using the American Hospital Association’s estimated useful lives guide. The renovation/improvement lives ranged from 5 years to 15 years for the various renovations to be done. For purposes of these projections an average life of 10 years was used.

Amortization – The existing amortization was continued plus the amount calculated for the new renovation debt based on amortizing projected financing costs of \$42,000 being amortized over the 20 year life of the loan.

Rutland Crossings LLC and EP Rutland Acquisition, LLC.
d/b/a The Pines at Rutland
SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS
AND ACCOUNTING POLICIES

NOTE 5 EXPENSE ASSUMPTIONS (continued)

Property insurance and taxes – Property insurance and property taxes were projected to increase by 60% upon completion of the renovations.

NOTE 6 PROPERTY LEASE

EP Rutland Acquisition, LLC leases the property to Rutland Crossings, LLC through a triple net lease. The Lease payments are based on the annual debt service plus 4.7% of gross revenues. For purposes of these combined financial statements, the lease transactions on both sides have been eliminated.

NOTE 7 DISTRIBUTIONS TO OWNERS

Distributions to owners including amounts necessary to cover income taxes on profits passed through to them are estimated at 66.67% of net income. For purposes of this projection, book income is estimated to approximate taxable income.

SUPPLEMENTARY INFORMATION

Rutland Crossings LLC and EP Rutland Acquisition, LLC
d/b/a The Pines at Rutland
COMBINED DEPARTMENTAL EXPENSE SCHEDULES
UNDER THE HYPOTHETICAL ASSUMPTIONS IN NOTE 1

For the Years Ended December 31, 2014 and 2015 (Historical) and Years Ending 2016 (Forecasted) and 2017 through 2019 (Projected)

	Historical 2014	Historical 2015	Forecasted 2016	Projected 2017	Projected 2018	Projected 2019
ADMINISTRATIVE & GENERAL						
Salary - Administrator	\$ 140,049	\$ 131,729	\$ 134,364	\$ 137,051	\$ 139,792	\$ 142,588
Salary - Other Admin	419,164	411,245	419,470	427,859	436,416	445,145
Office Supplies & Postage	54,077	48,059	49,020	50,001	51,001	52,021
Communications	25,825	29,500	30,090	30,692	31,306	31,932
Travel & motor vehicle	11,127	13,567	13,838	14,115	14,397	14,685
Advertising	25,284	33,946	34,625	35,317	36,024	36,744
Licenses & Dues	12,893	13,751	14,026	14,307	14,593	14,885
Professional Services	114,020	111,558	113,789	116,065	118,386	120,754
Payroll Taxes	473,962	464,469	473,758	484,138	510,660	520,873
Insurances	322,859	243,360	248,227	253,192	258,256	263,421
Employee Benefits	929,568	788,174	803,937	821,551	866,558	883,889
Security	-	1,338	1,365	1,392	1,420	1,448
Penalties	250	1,873	1,910	1,949	1,988	2,027
Seminars & Training	2,660	8,626	8,799	8,974	9,154	9,337
Interest expense	2,775	1,490	1,520	1,550	1,581	1,613
Management/Consultant fees	421,604	389,061	396,842	404,779	412,875	421,132
Provider tax	614,941	614,941	627,240	639,785	652,580	665,632
Miscellaneous	5,697	8,801	8,977	9,157	9,340	9,526
TOTAL ADMIN & GENERAL	\$ 3,576,755	\$ 3,315,488	\$ 3,381,798	\$ 3,451,873	\$ 3,566,326	\$ 3,637,652
PROPERTY & RELATED EXPENSES						
Interest Expense	\$ 295,439	\$ 285,324	\$ 269,363	\$ 256,228	\$ 402,061	\$ 309,198
Property Insurances	8,524	9,362	9,549	9,740	15,779	16,095
Depreciation - Building and Improvements	202,956	205,902	210,020	210,770	542,107	543,607
Depreciation - Equipment	43,322	37,084	37,826	39,826	72,602	76,602
Amortization - Loan Fees	4,720	4,660	4,660	4,660	6,760	6,760
Lease costs/Minor Equipment	49,318	71,344	72,771	74,226	75,711	77,225
Real Estate Taxes	148,973	151,376	154,404	157,492	255,136	260,239
TOTAL PROPERTY EXPENSES	\$ 753,252	\$ 765,052	\$ 758,592	\$ 752,942	\$ 1,370,156	\$ 1,289,726
PLANT OPERATION & MAINTENANCE						
Salary - Maintenance	\$ 76,561	\$ 66,058	\$ 67,379	\$ 68,727	\$ 70,101	\$ 71,503
Heating Fuel & Gas	29,221	19,970	20,369	20,777	21,192	21,616
Electricity	189,477	192,982	196,842	200,778	204,794	208,890
Water & Sewer	52,815	57,174	58,317	59,484	60,674	61,887
Maintenance repairs & operating services	91,372	100,403	102,411	104,459	106,548	108,679
TOTAL PLANT OPER & MAINT	\$ 439,446	\$ 436,587	\$ 445,319	\$ 454,225	\$ 463,310	\$ 472,576

See Summary of Significant Projection Assumptions and Accounting Policies and Accountant's Report

Rutland Crossings LLC and EP Rutland Acquisition, LLC
d/b/a The Pines at Rutland
COMBINED DEPARTMENTAL EXPENSE SCHEDULES
UNDER THE HYPOTHETICAL ASSUMPTIONS IN NOTE 1

For the Years Ended December 31, 2014 and 2015 (Historical) and Years Ending 2016 (Forecasted) and 2017 through 2019 (Projected)

	Historical 2014	Historical 2015	Forecasted 2016	Projected 2017	Projected 2018	Projected 2019
DIETARY						
Dietary Salaries	\$ 401,687	\$ 403,745	\$ 411,820	\$ 420,843	\$ 443,898	\$ 452,776
Food, Supplies & Other Expenses	<u>411,784</u>	<u>431,316</u>	<u>439,942</u>	<u>449,581</u>	<u>474,210</u>	<u>483,694</u>
TOTAL DIETARY	<u>\$ 813,471</u>	<u>\$ 835,061</u>	<u>\$ 851,762</u>	<u>\$ 870,424</u>	<u>\$ 918,108</u>	<u>\$ 936,470</u>
LAUNDRY & LINEN						
Laundry Salaries	\$ 54,750	\$ 52,195	\$ 53,239	\$ 54,304	\$ 55,390	\$ 56,498
Supplies & Other Expenses	<u>71,984</u>	<u>57,212</u>	<u>58,356</u>	<u>59,523</u>	<u>60,714</u>	<u>61,928</u>
TOTAL LAUNDRY & LINEN	<u>\$ 126,734</u>	<u>\$ 109,407</u>	<u>\$ 111,595</u>	<u>\$ 113,827</u>	<u>\$ 116,104</u>	<u>\$ 118,426</u>
HOUSEKEEPING						
Housekeeping Salaries	\$ 243,766	\$ 230,272	\$ 234,877	\$ 239,575	\$ 244,366	\$ 249,254
Supplies & Other Expenses	<u>40,954</u>	<u>45,075</u>	<u>45,977</u>	<u>46,896</u>	<u>47,834</u>	<u>48,791</u>
TOTAL HOUSEKEEPING	<u>\$ 284,720</u>	<u>\$ 275,347</u>	<u>\$ 280,854</u>	<u>\$ 286,471</u>	<u>\$ 292,200</u>	<u>\$ 298,044</u>
NURSING						
Salaries - Administrative	\$ 210,331	\$ 210,057	\$ 214,258	\$ 218,952	\$ 230,947	\$ 235,566
Salaries - Nurses (RN)	1,433,061	1,167,641	1,190,994	1,217,088	1,283,763	1,309,438
Salaries - Nurses (LPN)	564,811	624,600	637,092	651,050	686,716	700,450
Salaries - Other Nursing	1,433,022	1,438,070	1,466,831	1,498,969	1,581,086	1,612,708
Contract Nursing	-	302,264	308,309	315,064	332,324	338,970
Medical Director & other physicians	87,816	84,426	86,115	87,837	89,594	91,385
Nursing Supplies & Other Costs	<u>235,670</u>	<u>270,381</u>	<u>275,789</u>	<u>281,831</u>	<u>297,270</u>	<u>303,215</u>
TOTAL NURSING	<u>\$ 3,964,711</u>	<u>\$ 4,097,439</u>	<u>\$ 4,179,388</u>	<u>\$ 4,270,791</u>	<u>\$ 4,501,700</u>	<u>\$ 4,591,732</u>
OTHER SERVICES						
Activities Salaries & expense	\$ 138,320	\$ 116,083	\$ 118,405	\$ 120,773	\$ 123,188	\$ 125,652
Social Services Salaries & expense	58,973	64,408	65,696	67,010	68,350	69,717
Rehabilitative Services	1,889,443	1,781,872	1,817,509	1,700,971	2,058,985	2,182,524
Pharmacy & Other Diagnostic services	500,736	445,325	454,232	425,106	514,581	545,456
Medical Records	<u>525</u>	<u>1,154</u>	<u>1,177</u>	<u>1,201</u>	<u>1,225</u>	<u>1,249</u>
TOTAL OTHER SERVICES	<u>\$ 2,587,997</u>	<u>\$ 2,408,842</u>	<u>\$ 2,457,019</u>	<u>\$ 2,315,060</u>	<u>\$ 2,766,329</u>	<u>\$ 2,924,598</u>

See Summary of Significant Projection Assumptions and Accounting Policies and Accountant's Report

ATTACHMENT 10



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
11/2/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Oxford Coverage, a Division of Hub International Northeast Limited 2914 Avenue L Brooklyn NY 11210		CONTACT NAME: Faigy Kahn PHONE (A/C, No, Ext): (718) 692-0600 FAX (A/C, No): (718) 258-8915 E-MAIL ADDRESS: FKahn@OxfordCoverage.com															
INSURED Rutland Crossings, LLC, DBA: The Pines at Rutland C/o National Healthcare Associates, Inc 20 East Sunrise Highway Valley Stream NY 11581		<table border="1"> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A: Ironshore Specialty Insurance</td> <td></td> </tr> <tr> <td>INSURER B: Federal Insurance Company</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>		INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Ironshore Specialty Insurance		INSURER B: Federal Insurance Company		INSURER C:		INSURER D:		INSURER E:		INSURER F:	
INSURER(S) AFFORDING COVERAGE	NAIC #																
INSURER A: Ironshore Specialty Insurance																	
INSURER B: Federal Insurance Company																	
INSURER C:																	
INSURER D:																	
INSURER E:																	
INSURER F:																	

COVERAGES

CERTIFICATE NUMBER: Liability 16-17

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY			002203402	11/1/2016	11/1/2017	EACH OCCURRENCE \$ 1,000,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
	<input checked="" type="checkbox"/> Professional Liab						MED EXP (Any one person) \$ 10,000
	<input type="checkbox"/> Occurrence \$1M/3M						PERSONAL & ADV INJURY \$ Included
	GEN'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE \$ 3,000,000
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC						PRODUCTS - COMP/OP AGG \$ Included
	OTHER:						\$
B	AUTOMOBILE LIABILITY			73591533	11/1/2016	11/1/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS						PROPERTY DAMAGE (Per accident) \$
A	<input type="checkbox"/> UMBRELLA LIAB			000759306	11/1/2016	11/1/2017	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> EXCESS LIAB						AGGREGATE \$ 1,000,000
	<input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$						\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE						
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/>
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)						E.L. EACH ACCIDENT \$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE \$
							E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER

CANCELLATION

	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE Faigy Kahn/NR

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EVIDENCE OF COMMERCIAL PROPERTY INSURANCE

DATE (MM/DD/YYYY)
11/2/2016

THIS EVIDENCE OF COMMERCIAL PROPERTY INSURANCE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE ADDITIONAL INTEREST NAMED BELOW. THIS EVIDENCE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS EVIDENCE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE ADDITIONAL INTEREST.

PRODUCER NAME, CONTACT PERSON AND ADDRESS Oxford Coverage, a Division of Hub International Northeast Limited 2914 Avenue L Brooklyn NY 11210 FAX (A/C, No.): (718) 258-8915 E-MAIL ADDRESS: jschwartz@oxfordcoverage.com		PHONE (A/C, No, Ext): (718) 692-0600		COMPANY NAME AND ADDRESS Federal Insurance Company 55 Water Street New York NY 10041-2899 IF MULTIPLE COMPANIES, COMPLETE SEPARATE FORM FOR EACH		NAIC NO:
CODE: AGENCY CUSTOMER ID #: 00001889 NAMED INSURED AND ADDRESS Rutland Crossings, LLC, DBA: The Pines at* 99 Allen Street Rutland VT 05701		SUB CODE:		POLICY TYPE Commercial Property		
ADDITIONAL NAMED INSURED(S) *Rutland Center for Nursing & Rehabilitation				LOAN NUMBER		POLICY NUMBER 3603-4815
				EFFECTIVE DATE 11/1/2016		EXPIRATION DATE 11/1/2017
						CONTINUED UNTIL TERMINATED IF CHECKED
				THIS REPLACES PRIOR EVIDENCE DATED:		

PROPERTY INFORMATION (Use REMARKS on page 2, if more space is required) ☐ BUILDING OR ☐ BUSINESS PERSONAL PROPERTY

LOCATION/DESCRIPTION Loc# 00001, 99 Allen Street Rutland, VT 05701
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS EVIDENCE OF PROPERTY INSURANCE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

COVERAGE INFORMATION		PERILS INSURED		BASIC	BROAD	<input checked="" type="checkbox"/> SPECIAL	
COMMERCIAL PROPERTY COVERAGE AMOUNT OF INSURANCE: \$		10,691,106 DED: 5,000					
		YES	NO	N/A			
<input checked="" type="checkbox"/> BUSINESS INCOME <input type="checkbox"/> RENTAL VALUE		<input checked="" type="checkbox"/>			If YES, LIMIT: 3,000,000		Actual Loss Sustained; # of months:
BLANKET COVERAGE		<input checked="" type="checkbox"/>			If YES, indicate value(s) reported on property identified above: \$		
TERRORISM COVERAGE					Attach Disclosure Notice / DEC		
IS THERE A TERRORISM-SPECIFIC EXCLUSION?							
IS DOMESTIC TERRORISM EXCLUDED?							
LIMITED FUNGUS COVERAGE					If YES, LIMIT:		DED:
FUNGUS EXCLUSION (If "YES", specify organization's form used)							
REPLACEMENT COST		<input checked="" type="checkbox"/>					
AGREED VALUE		<input checked="" type="checkbox"/>					
COINSURANCE			<input checked="" type="checkbox"/>		If YES, %		
EQUIPMENT BREAKDOWN (If Applicable)		<input checked="" type="checkbox"/>			If YES, LIMIT: included		DED: 5,000
ORDINANCE OR LAW - Coverage for loss to undamaged portion of bldg		<input checked="" type="checkbox"/>					
- Demolition Costs		<input checked="" type="checkbox"/>			If YES, LIMIT:		DED:
- Incr. Cost of Construction		<input checked="" type="checkbox"/>			If YES, LIMIT:		DED:
EARTH MOVEMENT (If Applicable)		<input checked="" type="checkbox"/>			If YES, LIMIT: 1,000,000		DED: 50,000
FLOOD (If Applicable)		<input checked="" type="checkbox"/>			If YES, LIMIT: 1,000,000		DED: 100,000
WIND / HAIL (If Subject to Different Provisions)					If YES, LIMIT:		DED:
PERMISSION TO WAIVE SUBROGATION IN FAVOR OF MORTGAGE HOLDER PRIOR TO LOSS							

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

ADDITIONAL INTEREST

MORTGAGEE	CONTRACT OF SALE	LENDER SERVING AGENT NAME AND ADDRESS
LENDERS LOSS PAYABLE		
NAME AND ADDRESS		
		AUTHORIZED REPRESENTATIVE
		Faigy Kahn/NR

Client#: 1196415

BRATT CRO

ACORDTM

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

11/01/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER USI Insurance Services LLC 530 Preston Avenue Meriden, CT 06450 855 874-0123		CONTACT NAME: PHONE (A/C, No, Ext): 855 874-0123 FAX (A/C, No): 203 634-5701 E-MAIL ADDRESS:	
INSURED Rutland Crossings LLC 99 Allen St Rutland, VT 05701		INSURER(S) AFFORDING COVERAGE INSURER A: Pennsylvania Manufacturers Asso NAIC # 12262 INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:	

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:					EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	N/A	2016000686162	11/01/2016	11/01/2017	X PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E L EACH ACCIDENT \$1,000,000 E L DISEASE - EA EMPLOYEE \$1,000,000 E L DISEASE - POLICY LIMIT \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER

CANCELLATION

Evidence of Insurance

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

